

## ROCKWALL CITY COUNCIL REGULAR MEETING

**Tuesday, September 06, 2022 - 5:00 PM**

**City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087**

**I. Call Public Meeting to Order**

**II. Executive Session.**

**The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:**

1. Discussion regarding amendment(s) to 'Agreement for Professional Services & Employment as City Manager,' pursuant to Section 551.074 (Personnel Matters).
2. Discussion regarding (re)appointments to city regulatory boards and commissions, pursuant to Section, §551.074 (Personnel Matters).
3. Discussion regarding possible purchase of real property in the vicinity of the downtown area, pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
4. Discussion regarding possible purchase of real property in the vicinity of SH-205, generally located near Mims Road, pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
5. Discussion regarding Economic Development prospects, projects, and/or incentives pursuant to Section 551.087 (Economic Development).

**III. Adjourn Executive Session**

**IV. Reconvene Public Meeting (6:00 P.M.)**

**V. Invocation and Pledge of Allegiance - Councilmember Campbell**

**VI. Open Forum**

*This is a time for anyone to address the Council and public on any topic not already listed on the agenda or set for a public hearing. Per Council policy, public comments should be limited to three minutes out of respect for other citizens' time. If you have a topic that warrants longer time, please contact the City Secretary at [kteague@rockwall.com](mailto:kteague@rockwall.com) to be placed on the Agenda during the "Appointment Items" portion of the meeting. This will allow your topic to be provided sufficient time for discussion and will permit proper notice to be given to the public. On topics raised during Open Forum, please know Council is not permitted to respond to your comments during the meeting since the topic has not been specifically listed on the agenda (the Texas Open Meetings Act requires that topics of discussion/deliberation be posted on an agenda not less than 72 hours in advance of the Council meeting). This, in part, is so that other citizens who may have the same concern may also be involved in the discussion.*

**VII. Take any Action as a Result of Executive Session**

**VIII. Consent Agenda**

*These agenda items are routine/administrative in nature, have previously been discussed at a prior City Council meeting, and/or they do not warrant Council deliberation. If you would like to discuss one of these items, please let the City Secretary know before the meeting starts so that you may speak during "Open Forum."*

1. Consider approval of the minutes from the August 15, 2022, regular city council meeting, and take any action necessary.
2. Consider approval of the minutes from the August 25, 2022 Special (Budget Work Session) Council Meeting, and take any action necessary.

3. **Z2022-036** - Consider a request by David Scott and Christine Fischer for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing an *Agricultural Accessory Building* on a ten (10) acre parcel of land identified as Lot 2, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the terminus of Breezy Hill Lane, and take any action necessary **(2nd Reading)**.
4. **Z2022-037** - Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bill Bricker of Columbia Development Company for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District, Two-Family (2F) District and Light Industrial (LI) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, Two-Family (2F) District and Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary **(2nd Reading)**.
5. **P2022-038** - Consider a request by Bill Bricker of Columbia Extrusion Corporation for the approval of a *Conveyance Plat* for Lot 1, Block A, Park Station Addition being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

**IX. Appointment Items**

1. Appointment with resident Tim Herriage to hear concerns related to the composition (board membership) of the City's Historic Preservation Advisory Board (HPAB), and take any action necessary.

**X. Public Hearing Items**

*If you would like to speak regarding an item listed below, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. The Mayor or Mayor Pro Tem will call upon you to come forth at the proper time. Please limit your comments to no more than three minutes.*

1. Hold a public hearing to receive comments regarding the Proposed FY2023 City of Rockwall Budget and tax rate, and take any action necessary.

**XI. Action Items**

*If your comments are regarding an agenda item below, you are asked to come forth and do so during the 'Open Forum' portion of the meeting (please limit to 3 minutes or less). Please turn in a (yellow) 'Request to Address City Council' form to the City Secretary either before the meeting or as you approach the podium.*

1. **Z2022-038** - Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of an **ordinance** for a *Zoning Change* amending Planned Development District 93 (PD-93) [*Ordinance No. 22-22*] to incorporate a 21.83-acre tract of land into the existing 93.97-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (DF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary **(2nd Reading)**.
2. Discuss and consider appointments to the city's Youth Advisory Council (YAC), and take any action necessary.
3. Discuss and consider (re)appointments to non-regulatory city boards and commissions, and take any action necessary.

**XII. City Manager's Report, Departmental Reports and related discussions pertaining to current city activities, upcoming meetings, future legislative activities, and other related matters.**

1. Building Inspections Department Monthly Report - July 2022
2. Fire Department Monthly Report - July 2022
3. Parks & Recreation Department Monthly Report - July 2022
4. Police Department Monthly Report - July 2022

5. Sales Tax Historical Comparison
6. Water Consumption Historical Statistics

**XIII.**

**Executive Session.**

**The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:**

1. Discussion regarding amendment(s) to 'Agreement for Professional Services & Employment as City Manager,' pursuant to Section 551.074 (Personnel Matters).
2. Discussion regarding (re)appointments to city regulatory boards and commissions, pursuant to Section, §551.074 (Personnel Matters).
3. Discussion regarding possible purchase of real property in the vicinity of the downtown area, pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
4. Discussion regarding possible purchase of real property in the vicinity of SH-205, generally located near Mims Road, pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
5. Discussion regarding Economic Development prospects, projects, and/or incentives pursuant to Section 551.087 (Economic Development).

**XIV.**

**Reconvene Public Meeting & Take Any Action as Result of Executive Session**

**XV.**

**Adjournment**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Teague, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 2nd day of Sept., 2022 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

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Kristy Teague, City Secretary  
or Margaret Delaney, Asst. to the City Sect.

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Date Removed

**ROCKWALL CITY COUNCIL REGULAR MEETING**

**Monday, August 15, 2022 - 5:00 PM**

**City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087**

**I. CALL PUBLIC MEETING TO ORDER**

Mayor Kevin Fowler called the meeting to order at 5:00 p.m. Present were Mayor Kevin Fowler, Mayor Pro Tem Trace Johannesen, and Council Members Clarence Jorif, Dana Macalik, Anna Campbell, Bennie Daniels and Mark Moeller. Also present were City Manager Mary Smith and City Attorney Frank Garza. Assistant City Manager Joey Boyd was absent from the meeting.

Mayor Fowler read the below listed discussion items into the public record before recessing the meeting to go into Ex. Session at 5:01 p.m.

**II. EXECUTIVE SESSION.**

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding City Manager employee evaluation, pursuant to Section 551.074 (Personnel Matters).
2. Discussion regarding appointment assignments for city council subcommittees and board liaisons, pursuant to Section, §551.074 (Personnel Matters)
3. Discussion regarding (re)appointments to city regulatory boards and commissions, including conducting applicant interviews, pursuant to Section, §551.074 (Personnel Matters)

**III. ADJOURN EXECUTIVE SESSION**

**Council adjourned from Ex. Session at 5:58 p.m.**

**IV. RECONVENE PUBLIC MEETING (6:00 P.M.)**

**Mayor Fowler reconvened the public meeting at 6:00 p.m. with all seven council members being present.**

**V. INVOCATION AND PLEDGE OF ALLEGIANCE - MAYOR FOWLER**

**Mayor Fowler delivered the invocation and led the Pledge of Allegiance.**

**VI. PROCLAMATIONS / AWARDS / RECOGNITIONS**

1. Full Metal Jackets (Rockwall High School Robotics Team) Celebration Day

**Mayor Fowler called for high school students who are members of this team, each of whom briefly introduced themselves. Fowler then read and presented them with a proclamation, celebrating some of the team's recent accomplishments and contributions.**

**VII. OPEN FORUM**

**Mayor Fowler explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time.**

**VIII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**

**No action was taken at this time; however, the mayor indicated they will reconvene at the end of this public meeting agenda.**

**IX. CONSENT AGENDA**

1. Consider approval of the minutes from the August 1, 2022 regular city council meeting, and take any action necessary.
2. **Z2022-034** - Consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2- 04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary (**2nd Reading**).
3. Consider authorizing the City Manager to execute a one-year contract with three 1-year renewal options with ZT Baseball Nation LP to supply umpires for Leon Tuttle RBSL Spring, Summer, and Fall baseball and softball seasons annually to be funded by the Recreation Development Fund, and take any action necessary.
4. Consider authorizing the City Manager to execute a one-year contract with three 1-year renewal options with ZT Baseball Nation LP to host Fall and Spring baseball tournaments at Leon Tuttle Athletic Complex, and take any action necessary.
5. Consider authorizing the City Manager to execute a one-year contract with three 1-year renewal options with Illumination Firework to provide our July 4<sup>th</sup> Firework Special Event at Harry Myers Park annually to be funded by the General Fund, and take any action necessary.
6. Consider an ordinance approving a negotiated settlement between the Atmos Cities Steering Committee and Atmos Energy Corporation, Mid-Tex Division regarding the 2022 Rate Review Mechanism filing, adopting tariffs as part of the settlement, and take any action necessary.
7. **P2022-034** - Consider a request by Bill Bricker of Columbia Development Company for the approval of a *Final Plat* for Lots 1-5, Block E, Park Place, Phase IV Addition being a 1.286-acre tract of land identified as Lot 2, Block E, Park Place, Phase III Addition and Tracts 53 & 35 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Single-Family 7 (SF-7) and Residential-Office (RO) District land uses, located at the northeast corner of the intersection of T. L. Townsend Drive and Park Place Boulevard, and take any action necessary.
8. Consider authorizing the City Manager to execute an Interlocal Agreement with Rockwall Independent School District for School Resource Officer services for school calendar year 2022-2023, and take any action necessary.

**Councilmember Macalik moved to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6, 7, and 8). Councilmember Jorif seconded the motion. The ordinance captions were read as follows:**

**CITY OF ROCKWALL  
ORDINANCE NO. 22-44**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 96 (PD-96) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED**

HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL  
ORDINANCE NO. 22-43

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, APPROVING A NEGOTIATED SETTLEMENT BETWEEN THE ATMOS CITIES STEERING COMMITTEE (“ACSC”) AND ATMOS ENERGY CORP., MID-TEX DIVISION REGARDING THE COMPANY’S 2022 RATE REVIEW MECHANISM FILING; DECLARING EXISTING RATES TO BE UNREASONABLE; ADOPTING TARIFFS THAT REFLECT RATE ADJUSTMENTS CONSISTENT WITH THE NEGOTIATED SETTLEMENT; FINDING THE RATES TO BE SET BY THE ATTACHED SETTLEMENT TARIFFS TO BE JUST AND REASONABLE AND IN THE PUBLIC INTEREST; APPROVING AN ATTACHMENT ESTABLISHING A BENCHMARK FOR PENSIONS AND RETIREE MEDICAL BENEFITS; REQUIRING THE COMPANY TO REIMBURSE ACSC’S REASONABLE RATEMAKING EXPENSES; DETERMINING THAT THIS ORDINANCE WAS PASSED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS OPEN MEETINGS ACT; ADOPTING A SAVINGS CLAUSE; DECLARING AN EFFECTIVE DATE; AND REQUIRING DELIVERY OF THIS ORDINANCE TO THE COMPANY AND THE ACSC’S LEGAL COUNSEL.

The motion passed by a vote of 7 ayes to 0 nays.

X. APPOINTMENT ITEMS

1. Appointment with Planning & Zoning Commission representative to discuss and answer any questions regarding planning-related cases on the agenda.

No one from the P&Z Commission was present. So this agenda item was not addressed.

XI. PUBLIC HEARING ITEMS

1. **22022-035** - Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Bill Bricker of Columbia Development Company, LLC for the approval of an **ordinance** for a Zoning Change amending Planned Development District 87 (PD-87) [*Ordinance No. 18-46*] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary (**1st Reading**).

Mr. Miller shared that staff has been contacted by this applicant, and the applicant has submitted a request to withdraw this case at this time. Mayor Fowler moved to accept the applicant’s request to withdraw the case. Councilmember Jorif seconded the motion. The motion passed by a vote of 7 ayes to 0 nays. Mr. Miller shared that the applicant will now be able to resubmit a new case, if he so chooses.

2. **Z2022-036** - Hold a public hearing to discuss and consider a request by David Scott and Christine Fischer for the approval of an **ordinance** for a Specific Use Permit (SUP) allowing an *Agricultural Accessory Building* on a ten (10) acre parcel of land identified as Lot 2, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the terminus of Breezy Hill Lane, and take any action necessary **(1st Reading)**.

**Ryan Miller, City’s Planning Director, provided background information related to this agenda item. Back in July, the City Council granted proper permissions that will allow for a single-family home to be constructed by the property owner on this 10 acres. The applicant is now proposing to build an agricultural accessory building that he plans to utilize to store agricultural equipment. Notices were sent out to adjacent land and property owners within 500’ of the property, and no notices were received back by staff. In addition, nearby HOAs were also notified. The Planning & Zoning Commission has recommended approval of this item to the City Council based on the meeting they held on August 9.**

**Mayor Fowler opened the public hearing, but no one wanted to speak, so he closed the public hearing.**

**Councilmember Moeller moved to approve Z2022-036. Councilmember Daniels seconded the motion. The ordinance caption was read as follows:**

**CITY OF ROCKWALL  
ORDINANCE NO. 22-XX  
SPECIFIC USE PERMIT NO. S-XXX**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *AGRICULTURAL ACCESSORY BUILDING* ON A TEN (10) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, BREEZY HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED AND DEPICTED IN EXHIBIT ‘A’ OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**The motion to approve passed by a vote of 7 ayes to nays.**

3. **Z2022-037** - Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bill Bricker of Columbia Development Company for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District, Two-Family (2F) District and Light Industrial (LI) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, Two-Family (2F) District and Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary **(1st Reading)**.

**Ryan Miller, Planning Director, provided background information concerning this agenda item. The applicant would like to rezone this property to allow for construction of a 144 lot single-family home subdivision that contains various lot sizes (i.e. [A] 41, 72’ x 120’ lots; [B] 75, 62’ x 120’ lots; and [C] 28,**

52' x 120' lots). The homes will be between 2,400 and 2,500 square feet. Looking at the garage orientation proposed for the development, the applicant is requesting to allow all of the *Type 'C'* lots (i.e. the 52' x 120' lots) or a total of 19.40% of the 144 lots (equating to a total of 28 lots) to be orientated toward the street in a *Front Entry* garage configuration; however, the applicant is proposing to require an additional five (5) foot setback from the front façade of the home for *Front Entry* garage configurations, which will create a 25-foot separation from the garage to the front property line. The remaining garage doors will be oriented in a *J-Swing* (or a *Traditional Swing*) configuration or *Recessed Entry* configuration (i.e. where the garage door is situated a minimum of 20-feet behind the front façade). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation of materials throughout the subdivision. The following are some of the examples provided by the applicant showing horizontal lap-siding, *board-and-batten* siding, or decorative patterns that are contained within the Planned Development District ordinance. This essentially allows for the more 'farm house' style look and feel of the homes.

The Planning & Zoning Commission has unanimously recommended approval of this request. In addition, notices were sent to adjacent land/property owners within 500' of the property, and adjacent (2) HOAs (homeowners associations) were also notified. Staff has received back two notice from within the 500' buffer zone in favor of the applicant's request. Also, staff has received back one notice from within the 500' buffer zone in opposition of the applicant's proposed request.

The applicant then came forth to address Council.

Ryan Joyce  
767 Justin Road  
Rockwall, TX 75087

Mr. Joyce introduced himself and shared that his company is a local company. He went on to share more extensive details with the Council concerning what he is proposing related to this residential development request. He expects the price point to start in the mid to upper \$500k's and go up from there.

Mayor Fowler opened the public hearing, asking if anyone would like to come forth and speak at this time.

Diana Devenney  
2944 Pegasus Drive  
Garland TX  
(Property owner of 205 Dial Lane – Rockwall, TX)

Mrs. Devenney came forth and spoke about how this proposed development will affect her. She has owned this property since 1982. She is concerned about the price point of these homes being \$500k-\$550k+, and she does not consider that to be 'affordable housing' for Rockwall. She also spoke about



CPED – Crime Prevention by Development Design. Other cities such as Arlington and Carrollton have implemented this type of program. She wonders if staff has met with Police and Fire Departments to discuss how they will service this area. She is concerned that there are no alleyways, and some of the houses will back right up to her property line, and there is no line of sight to protect the properties from crime. She pointed out that her and her son’s property (on Dial Lane) work hard to monitor their AG property for potential crime. She pointed out that she and her son have cleaned up beer cans, and – at one point – a criminal literally burned her house down at 205 Dial Lane. She believes that ‘beer parties’ and ‘drug deals’ occur, and she is concerned about the police and fire departments monitoring crime in this area and ensuring that vandalism that constantly happens stops occurring. She has concerns about the cul-de-sac that will be near Williams/Washington Street area...she is concerned that vehicles will literally jump the curb at the end of her driveway / easement. She is also concerned about a major utility line that is right on her and Mr. Bricker’s property line. She wonders how the homes will receive utility services, and she gave indication that she hopes it won’t be provided by ‘trespassing’ on her property. She pointed out that Oncor workers previously cut the lock on her property and accessed the utility easement to set utility poles, and they did a lot of damage to her property, all without even contacting her to make her aware they were doing so. She pointed out that this proposed development will cause her a lot of emotional distress, and she has a lot of safety-related concerns (especially related to the drug deals and beer cans and needles, etc.).

Jason Lain  
5033 Brookview Drive  
Dallas, TX

Mr. Lain shared that he is with OM Housing, and he represents Mrs. Devenney at 205 Dial Lane. He knows that the only easement is located on-site at the 205 Dial Lane, Rockwall, TX site (belonging to the previous speaker, Mrs. Devenney). He pointed out that this development will result in ‘pockets’ that will be unlit and will lead to kids or anyone else doing essentially ‘sinister’ / ‘criminal’ type things at the rear of some of these homes (on the easement related to 205 Dial Lane). He suggested that a roadway be installed that would be a city-built and maintained roadway that would allow access for the Police and Fire Departments to be able to see, access and more closely monitor any criminal related activities might otherwise occur at the rear of this development.

Bob Wacker  
309 Featherstone Drive  
Rockwall, TX

Mr. Wacker came forth and shared that he lives in Stone Creek, and he has some suggestions. He spoke about various items that the HOA will be responsible for maintaining over time, and how those costs will end up being the financial responsibility of the homeowners. He urged the City to review the HOA bylaws for this community and try to ensure that the HOA is financially solvent and stable enough to be able to afford all that it will be ‘taking on.’

City Attorney, Mr. Frank Garza shared that the city cannot, by law, review HOA bylaws or make review of those contingent on approval of a zoning request / case in any way. That would legally be considered “contract zoning,” and that is strictly prohibited by law.

There being no one else wishing to come forth and speak, Mayor Fowler then closed the Public Hearing.

Mayor Fowler asked if the developer will be notifying home buyers in this neighborhood that, at some point in the future, a major state-owned thoroughfare might run right by this development (SH-66 expansion). Mr. Joyce shared that he has no issue at all including disclosure information of some sort regarding the future plans for the SH-66 roadway improvements. Mr. Joyce shared information about setbacks, and he shared that sidewalks and landscaping will be installed. Those items will provide some level of 'buffering' related to any future SH-66 expansion/improvements that may occur. In addition, Mr. Ryan Miller, shared that a notation can be made on the face of the final plat, which is a document that is supposed to be provided to all residents at 'closing.' Mr. Joyce stated that the HOA will obtain and maintain insurance to help provide some level of protection to HOA maintained areas. He stated that, related to concerns expressed by the speakers during the Public Hearing, there is no better way to prevent crime than to have other people living adjacent to that property and having more eyes on the AG property that exists just adjacent to this proposed residential development.

Police Chief Ed Fowler shared comments related to 'crime pockets,' and he offered to meet with Mrs. Devenney to discuss the concerns she has related to crime and to try and address those concerns. Indication was given by staff that Planning and Police Department staff work together on CPTED "Crime Prevention Through Environmental Design" initiatives on any/all new development being proposed within the City of Rockwall. Mr. Miller shared that at least three police staff work with the Planning Department on 'plan review' for all new residential developments. In addition, Fire Chief Kenneth Cullins shared that the Fire Department is always involved in the plan review process as well.

Mayor Pro Tem Johannesen moved to approve Z2022-037. Councilmember Daniels seconded the motion. The ordinance caption was read as follows:

**CITY OF ROCKWALL  
ORDINANCE NO. 22-XX**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT, TWO-FAMILY (2F) DISTRICT, AND LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 65.309-ACRE TRACT OF LAND IDENTIFIED AS THE OAK CREEK SUBDIVISION; TRACT 6 OF THE G. W. REDLIN SURVEY, ABSTRACT NO. 183; AND PORTIONS OF TRACTS 1 & 6-1 OF THE G. W. REDLINE SURVEY, ABSTRACT NO. 183, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

The motion to approve passed by a vote of 7 ayes to 0 nays.

4. **Z2022-038** - Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of an ordinance for a *Zoning Change* amending Planned Development District 93 (PD-93) [*Ordinance No. 22-22*] to incorporate a 21.83-acre tract of land into the existing 93.97-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (DF-10)

District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary (1st Reading).

Planning Director, Ryan Miller, provided background information related to this agenda item. The applicant is requesting to amend the existing PD. Specifically, the applicant is proposing to incorporate an additional 21.83-acres of land and entitle it to add an additional 82 single-family residential lots to Planned Development District 93 (PD-93). The subject property is generally located between SH-66 and FM-1141 at the southwest corner of the intersection of FM-1141 and Cornelius Road. These lots will consist of three (3) lot types that were already established by Planned Development District 93 (PD-93): [1] 40 Type 'C' lots that are a minimum of 72' x 115' (or 9,000 SF), [2] 12 Type 'D' lots that are a minimum of 72' x 110' (or 8,400 SF), and [3] 30 Type 'E' lots that are a minimum of 62' x 110' (or 7,200 SF). This adjusts the gross density of Planned Development District 93 (PD-93) from 1.93 dwelling units per acre to 2.27 dwelling units per gross acre (i.e. 263 lots/115.80-acres = 2.2712 dwelling units per gross acre) for the total development. The proposed concept plan shows that the development will consist of a total of 29.72-acres of floodplain and 13.23-acres of open space maintained by the Homeowner's Association (HOA).

The City's Planning & Zoning Commission has reviewed this request and has made a recommendation to approve it. In addition, on July 22, 2022, staff mailed 64 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (Caruth Ridge Estates) Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff has received two notices back in favor of this request being approved (and no opposition notices).

The applicant, Mr. Ryan Joyce with Michael Joyce Properties came forth again to speak regarding this particular agenda item. Following Mr. Joyce comments, Mayor Fowler opened the public hearing, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed the Public Hearing.

Councilmember Jorif moved to approve Z2022-038. Councilmember Campbell seconded the motion. Councilmember Macalik expressed concern about the smaller lots being included as part of this proposed development. She does not believe that the smaller lots really fit in well with other, larger existing residential lots in and around this general area. Although she does have these concerns, she did express that she is very impressed with what Mr. Joyce is proposing.

Mr. Cain owns the property adjacent to this, and he does plan to develop it in the future; however, not until his grandson is finished riding dirt bikes on the property.

The ordinance was read as follows:

**CITY OF ROCKWALL  
ORDINANCE NO. 22-XX**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND PLANNED DEVELOPMENT DISTRICT 93 (PD-93) [ORDINANCE NO. 22-22], BEING A 115.80-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4-01 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, AND TRACTS 13 & 25 AND A PORTION OF TRACTS 10-02, 10-03, 25-1, & 26 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY**

DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion to approve then passed by a vote of 6 ayes with 1 against (Macalik).

## XII. ACTION ITEMS

1. Discuss and consider (re)appointments to non-regulatory city boards and commissions, and take any action necessary.

Mayor Fowler indicated that the city council will be going back into Ex. Session to discuss some other appointments. So he would like to delay action on this particular item in order to take all appoint-related actions afterwards.

Mayor Pro Tem Johannesen moved to reappoint to the city's Planning & Zoning Commission John Womble, Brian Llewellyn, and Sedric Thomas (each for an additional two-year term thru August of 2024). He'd also like to newly appoint Ross Hustings to serve in the seat vacated by Eric Chodun (for a partial term thru August of 2023). Councilmember Macalik seconded the motion, which passed by a vote of 7 ayes to 0 nays.

Councilmember Campbell moved to reappoint Gary Freedman to the Animal Advisory Board (an additional, two-year term thru Aug. 2024). Fowler seconded the motion, which passed unanimously of those present.

Regarding the Airport Advisory Board, Councilmember Jorif made a motion to newly appoint Kyle Thompson and Kerry Shepherd to the two vacant seats left by Brad Bassett and Matt Murphey, who have both 'termed out' (terms will run thru Aug. of 2024). Macalik seconded motion, which passed unanimously of Council (7-0).

2. Discuss and consider granting permission for an alcohol waiver associated with the city's October 1, 2022, 14<sup>th</sup> Annual Rib Rub Run and Roll at Harry Myers Park in accordance with Chapter 30, Article I, Sec. 30-2, 'Regulated Activities in Parks' of the Code of Ordinances, and take any action necessary.

Parks Director, Travis Sales, came forth and briefed Council on this agenda item.

Mayor Pro Tem Johannesen moved to approve the alcohol waiver request for Harry Myers Park and to approve the downtown roadway closures as part of this event. Mayor Fowler seconded the motion, which passed by a vote of 5 ayes to 2 nays (Jorif and Daniels).

Mayor Fowler then recessed the public meeting to go back into Ex. Session at 7:19 p.m.

## XIII. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding City Manager employee evaluation, pursuant to Section 551.074 (Personnel Matters)

2. Discussion regarding appointment assignments for city council subcommittees and board liaisons, pursuant to Section, §551.074 (Personnel Matters)
3. Discussion regarding (re)appointments to city regulatory boards and commissions, including conducting applicant interviews, pursuant to Section, §551.074 (Personnel Matters)

**XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

**Fowler reconvened the public meeting at 8:17 p.m. See “Action Item 1” above.**

**XV. ADJOURNMENT**

**Mayor Fowler adjourned the meeting at 8:20 p.m.**

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ON THIS 6<sup>th</sup> DAY OF SEPTEMBER, 2022.**

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**KEVIN FOWLER, MAYOR**

**ATTEST:**

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**KRISTY TEAGUE, CITY SECRETARY**

**ROCKWALL CITY COUNCIL SPECIAL MEETING**

**Thursday, August 25, 2022 - 4:00 PM**

**City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087**

**I. CALL PUBLIC MEETING TO ORDER (4:00 P.M.)**

Mayor Fowler called the meeting to order at 4:02 p.m. Present were Mayor Kevin Fowler, Mayor Pro Tem Trace Johannesen and Councilmembers Clarence Jorif, Dana Macalik, Bennie Daniels and Mark Moeller. Also present were City Manager Mary Smith, Assistant City Manager Joey Boyd, as well as individual departmental directors and other staff. Councilmember Anna Campbell joined the meeting at 4:10 p.m. as noted below.

**II. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER CAMPBELL**

Councilmember Campbell was not yet present, so Mayor Fowler delivered the invocation and led the Pledge of Allegiance.

**III. OPEN FORUM**

**Frank Tyminski**  
643 Windy Ridge Lane  
Rockwall, TX

Mr. Tyminski came forth and provided brief expressions of gratitude to some city staff members with whom he recently interacted. He went on to express brief comments pertaining to the proposed tax rate and budget.

**Bob Wacker**  
309 Featherstone  
Rockwall, TX 75087

Mr. Wacker came forth and provided a lengthy presentation to Council related to the city's financial policies, historical information related to the tax rate(s), tax dollars collected over the years, the budget over time, etc. He generally expressed that he actually wishes that the city would raise the tax rate, rather than lower it.

It was noted that Councilmember Campbell arrived at 4:10 p.m. (during Mr. Wacker's comments).

No one else came forth to speak, so Mayor Fowler closed Open Forum.

**IV. WORK SESSION**

1. Hold a work session to discuss the City of Rockwall proposed budget for fiscal year 2023  
*(Note: a Public Hearing to hear public input re: the FY23 budget will appear on the Tues., Sept. 6, 2022 City Council Mtg. agenda)*

Mayor Fowler provided brief, introductory comments related to the tax rate, sharing that this proposed budget aims to lower the effective tax rate. He commented about how the City Manager has been very conservatively projecting sales tax revenues for many years now, and she's done a good job over the years ensuring that the city has health 'reserves' in place. He generally indicated that he will allow City Manager Mary Smith to brief Council on the proposed budget at this time, and thereafter they will go section-by-section through the budget proposal. City Manager Mary Smith shared that her main focus for this upcoming fiscal year budget proposal is to ensure that staff salaries are adjusted so that the city can try and retain the employees it currently has while also remaining competitive in the market place. She indicated that other, neighboring cities in the area are all either proposing healthy raises or have already instituted those. So she feels strongly like this is an important focus for this upcoming budget year. She especially wants to ensure retention in public safety and also specifically in the Dispatch (911) center. She commented that the city dispatch center is fully staffed, and the current slate of employees we have in place work well together. She went on to provide a lengthy explanation regarding the "no new tax rate," under which a city must stay in order to avoid having to take the tax rate before the public for voter approval and chancing a tax rate rollback.

General discussion ensued between staff members and members of Council pertaining to the various departmental budget proposals and proposals for other, miscellaneous funds (i.e. the city's 'Recreational Development Fund;' "Airport Special Revenue Fund;" "(Police) Seized Funds).

Mayor Fowler suggested having Mrs. Smith round the proposed tax rate down to 29.25 cents (per \$100 dollars of assessed value). Mrs. Smith indicated that she can do so, as that will only cause her to have to adjust downward by about \$3,000.

V. ADJOURNMENT

Mayor Fowler adjourned the work session at 5:47 p.m.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ON THIS 6<sup>th</sup>  
DAY OF SEPTEMBER, 2022.**

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**KEVIN FOWLER, MAYOR**

**ATTEST:**

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**KRISTY TEAGUE, CITY SECRETARY**

CITY OF ROCKWALL

ORDINANCE NO. 22-45

SPECIFIC USE PERMIT NO. S-286

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *AGRICULTURAL ACCESSORY BUILDING* ON A TEN (10) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, BREEZY HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from David Scott and Christine Fischer for the approval of a *Specific Use Permit (SUP)* for an *Agricultural Accessory Building* on a ten (10) acre parcel of land identified as Lot 2, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the terminus of Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Agricultural Accessory Building* as stipulated by Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]*-- as heretofore amended and as may be amended in the future --*, and with the following conditions:



## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Agricultural Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Agricultural Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibit 'B & 'C'* of this ordinance.
- (2) The *Agricultural Accessory Building* shall not exceed a maximum size of 4,999 SF.
- (3) The *Agricultural Accessory Building* shall not exceed a maximum height of 15-feet as measured to the mid-point of the pitched roof.
- (4) The *Agricultural Accessory Building* shall have a minimum of 3:12 roof pitch.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF SEPTEMBER, 2022.**

\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

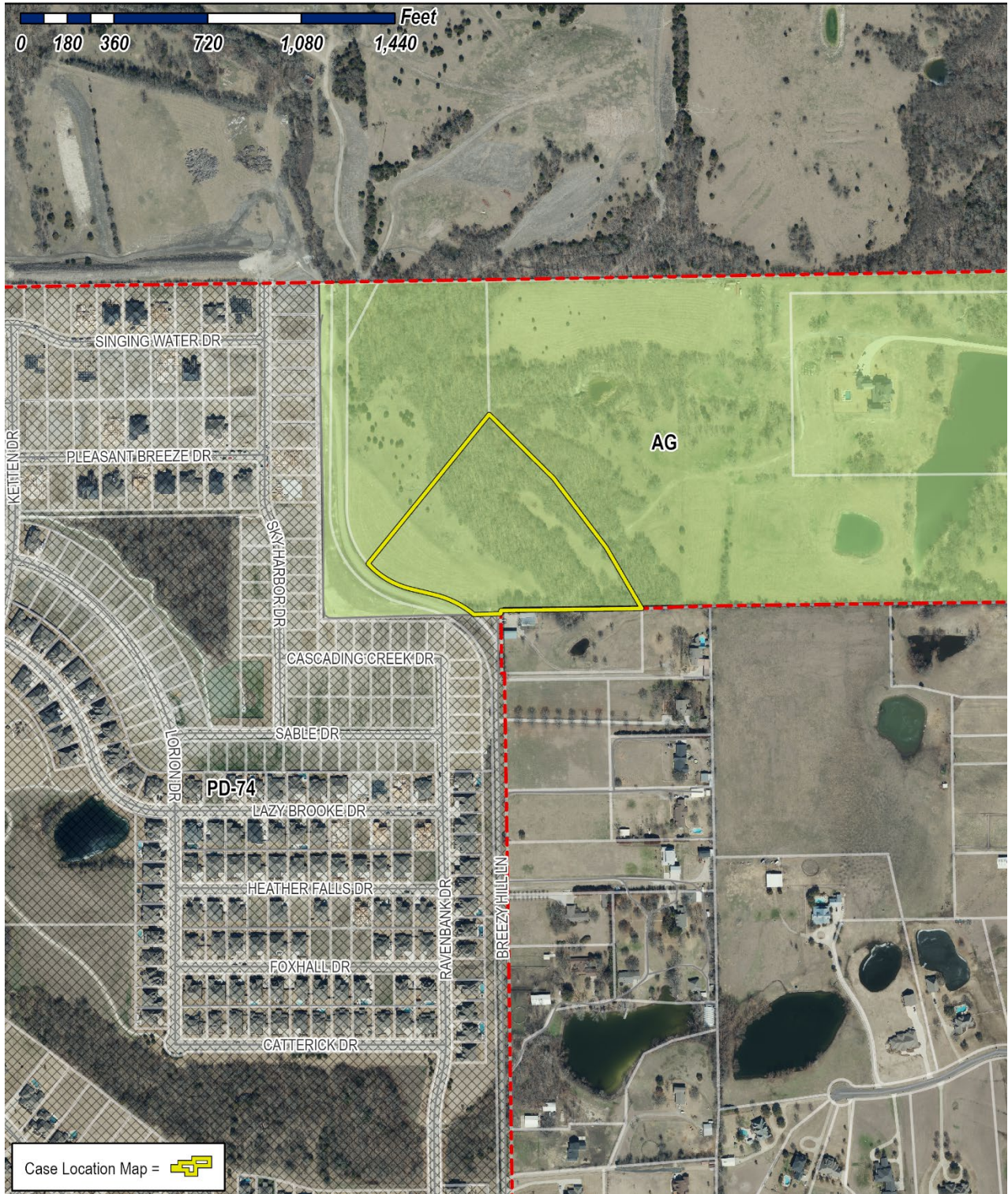
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

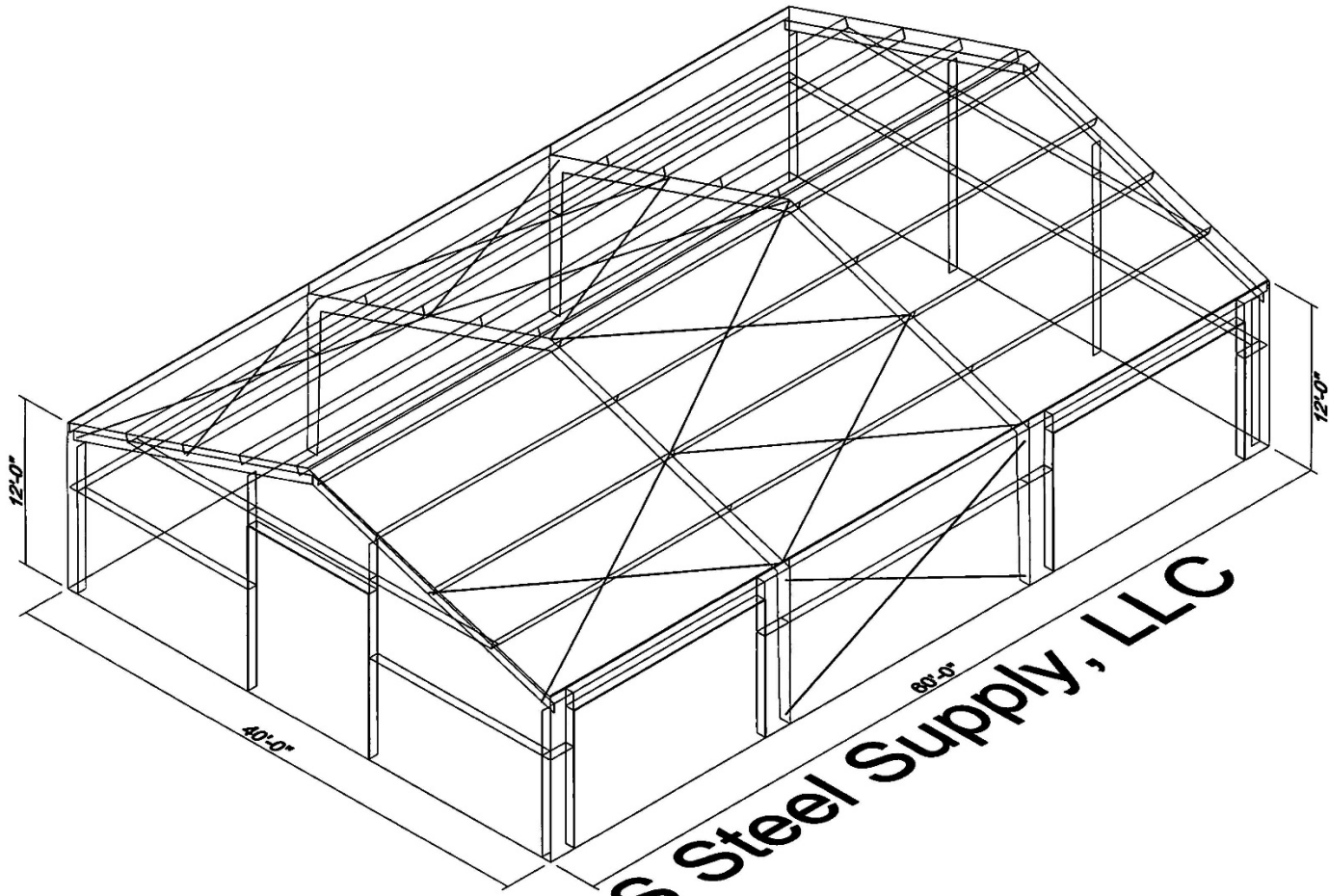
1<sup>st</sup> Reading: August 15, 2022

2<sup>nd</sup> Reading: September 6, 2022

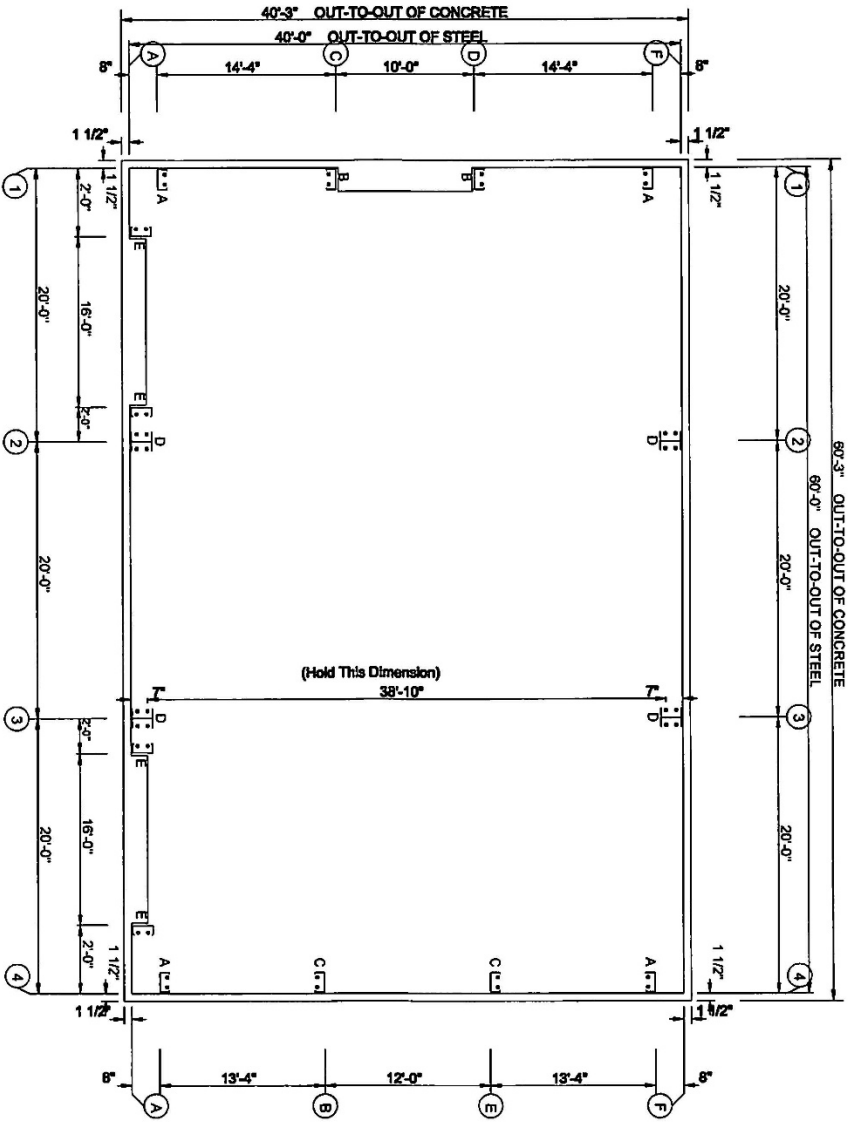
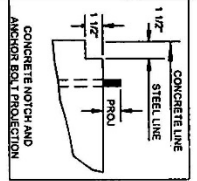
Address: 1101 Breezy Hill Lane  
Legal Description: Lot 2, Block A, Breezy Hill Lane Addition







**Triple-S Steel Supply, LLC**



**ANCHOR BOLT PLAN**  
NOTE: All Base Plates @ 100'-0" (U.N.)

Triple-S Steel Supply, LLC			
PROJECT	Tiffany Woods	DESIGN:	ANCHOR BOLT PLAN
ID	32301	DRAFT:	CHECK:
PROJECT		DATE:	7/1/22
ADDRESS		SHEET	OF

o Dia = 5/8"  
s Dia = 3/4"

CITY OF ROCKWALL

ORDINANCE NO. 22-46

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT, TWO-FAMILY (2F) DISTRICT, AND LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 97 (PD-97) FOR SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 65.309-ACRE TRACT OF LAND IDENTIFIED AS THE OAK CREEK SUBDIVISION; TRACT 6 OF THE G. W. REDLIN SURVEY, ABSTRACT NO. 183; AND PORTIONS OF TRACTS 1 & 6-1 OF THE G. W. REDLINE SURVEY, ABSTRACT NO. 183, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Ryan Joyce of the Michael Joyce Properties on behalf of Bill Bricker of Columbia Development Company for the approval of a zoning change from an Agricultural (AG) District, Two-Family (2F) District, and Light Industrial (LI) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses, on a 65.309-acre tract of land identified as the Oak Creek Subdivision and Tract 6 and portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, Two-Family (2F) District, and Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with

the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.



- (f) PD Site Plan. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2022.**

\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: August 15, 2022

2<sup>nd</sup> Reading: September 6, 2022

*BEING* a tract of land situated in the *GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183*, City of Rockwall, Rockwall County, Texas and being all of *OAK CREEK*, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 201, Plat Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Rockwall Property Corporation, as recorded in Volume 444, Page 146 and Volume 2002, Page 150, Deed Records, Rockwall County, Texas and being all of that tract of land described in Deed to Rockwall Property Corporation, as recorded in Volume 2051, Page 53, Deed Records, Rockwall County, Texas and being more particularly described as follows:

*BEGINNING* at a ½-inch iron rod found in the south line of State Highway No. 66, a 60-foot right-of-way, for the common northwest corner of said *OAK CREEK* Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northeast corner of that tract of land described in Deed to Rockwall Independent School District, as recorded in Volume 105, Page 153, Deed Records, Rockwall County, Texas;

*THENCE* North 88 degrees 29 minutes 03 seconds East, with said south line, a distance of 411.45-feet to a wood post found for the common northeast corner of said *OAK CREEK* Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northwest corner of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150;

*THENCE* South 00 degrees 56 minutes 16 seconds East, leaving said south line and with the common west line of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150 and east line of said *OAK CREEK* Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53, a distance of 705.40-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

*THENCE* North 59 degrees 30 minutes 28 seconds East, leaving said common line, a distance of 503.69-feet to a point for corner;

*THENCE* South 69 degrees 21 minutes 48 seconds East, a distance of 40.60-feet to a point for corner;

*THENCE* South 25 degrees 06 minutes 25 seconds East, a distance of 64.89-feet to a point for corner;

*THENCE* South 31 degrees 25 minutes 37 seconds East, a distance of 51.80-feet to a point for corner;

*THENCE* South 09 degrees 09 minutes 13 seconds East, a distance of 55.61-feet to a point for corner;

*THENCE* South 16 degrees 55 minutes 05 seconds East, a distance of 49.61-feet to a point for corner;

*THENCE* South 03 degrees 11 minutes 20 seconds East, a distance of 109.33-feet to a point for corner;

*THENCE* South 04 degrees 27 minutes 24 seconds East, a distance of 60.49-feet to a point for corner;

*THENCE* South 16 degrees 19 minutes 49 seconds West, a distance of 39.76-feet to a point for corner;

*THENCE* South 08 degrees 12 minutes 45 seconds East, a distance of 48.89-feet to a point for corner;

*THENCE* South 64 degrees 09 minutes 47 seconds East, a distance of 66.87-feet to a point for corner;

*THENCE* South 47 degrees 50 minutes 45 seconds East, a distance of 73.04-feet to a point for corner;

*THENCE* South 42 degrees 29 minutes 55 seconds East, a distance of 44.81-feet to a point for corner;

*THENCE* North 85 degrees 31 minutes 53 seconds East, a distance of 53.72-feet to a point for corner;

*THENCE* South 25 degrees 10 minutes 09 seconds East, a distance of 84.31-feet to a point for corner;

*THENCE* South 42 degrees 22 minutes 14 seconds East, a distance of 59.42-feet to a point for corner;

*THENCE* South 47 degrees 09 minutes 28 seconds East, a distance of 71.66-feet to a point for corner;

*THENCE* South 02 degrees 46 minutes 29 seconds West, a distance of 57.76-feet to a point for corner;

*THENCE* South 31 degrees 26 minutes 15 seconds East, a distance of 71.66-feet to a point for corner;  
*THENCE* South 18 degrees 53 minutes 46 seconds East, a distance of 88.10-feet to a point for corner;  
*THENCE* South 11 degrees 41 minutes 53 seconds East, a distance of 110.02-feet to a point for corner;  
*THENCE* South 53 degrees 25 minutes 21 seconds West, a distance of 34.88-feet to a point for corner;  
*THENCE* South 20 degrees 12 minutes 22 seconds East, a distance of 44.84-feet to a point for corner;  
*THENCE* South 79 degrees 08 minutes 23 seconds East, a distance of 90.02-feet to a point for corner;  
*THENCE* South 56 degrees 28 minutes 11 seconds East, a distance of 62.92-feet to a point for corner;  
*THENCE* South 87 degrees 49 minutes 07 seconds East, a distance of 28.55-feet to a point for corner;  
*THENCE* South 05 degrees 58 minutes 08 seconds West, a distance of 28.02-feet to a point for corner;  
*THENCE* South 10 degrees 07 minutes 55 seconds East, a distance of 46.33-feet to a point for corner;  
*THENCE* South 10 degrees 56 minutes 13 seconds East, a distance of 88.76-feet to a point for corner;  
*THENCE* South 42 degrees 32 minutes 37 seconds East, a distance of 66.83-feet to a point for corner;  
*THENCE* South 05 degrees 48 minutes 00 seconds West, a distance of 37.66-feet to a point for corner;  
*THENCE* South 27 degrees 06 minutes 51 seconds East, a distance of 115.84-feet to a point for corner;  
*THENCE* South 36 degrees 05 minutes 07 seconds East, a distance of 93.26-feet to a point for corner;

*THENCE* South 09 degrees 53 minutes 27 seconds East, a distance of 144.51-feet to a point for corner in the common south line of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and north line of that tract of land described in Deed to Robert O. Dillender and wife, Sherry Dillender, as recorded in Volume 3356, Page 177, Deed Records, Rockwall County, Texas;

*THENCE* Westerly, with said south line, the following four (4) courses and distances:

North 89 degrees 15 minutes 43 seconds West, a distance of 1,002.42-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to F&F Holdings I, Ltd., as recorded in Document No. 2020000031089, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to D. Richard Devenney and wife, Diana Devenney, as recorded in Volume 165, Page 116, Deed Records, Rockwall County, Texas;

North 87 degrees 11 minutes 23 seconds West, a distance of 295.74-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an interior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 01 degrees 26 minutes 13 seconds West, a distance of 426.00-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common southwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an exterior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 88 degrees 33 minutes 07 seconds West, a distance of 724.98-feet to a ½-inch iron rod with a red plastic cap stamped "SPARK SURVEY" found in the north line of Washington Street, a variable width right-of-way, for the common southwest corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146 and southeast corner of that tract of land described in Deed to City of Rockwall, as recorded in Volume 2163, Page 96, Deed Records, Rockwall County, Texas;

*THENCE* Northerly, with the east line of said City of Rockwall tract, the following three (3) courses and distances:

North 24 degrees 23 minutes 30 seconds East, a distance of 884.48-feet to a ½-inch iron rod with a red plastic cap stamped "SPARK SURVEY" found at the beginning of a curve to the left having a central angle of 25 degrees 00 minutes 38 seconds, a radius of 700.00-feet and a chord bearing and distance of North 11 degrees 53 minutes 11 seconds East, 303.14-feet;

Northerly, with said curve to the left, an arc distance of 305.56-feet to a ½-inch iron rod with a red plastic cap stamped "SPARK SURVEY" found for corner;

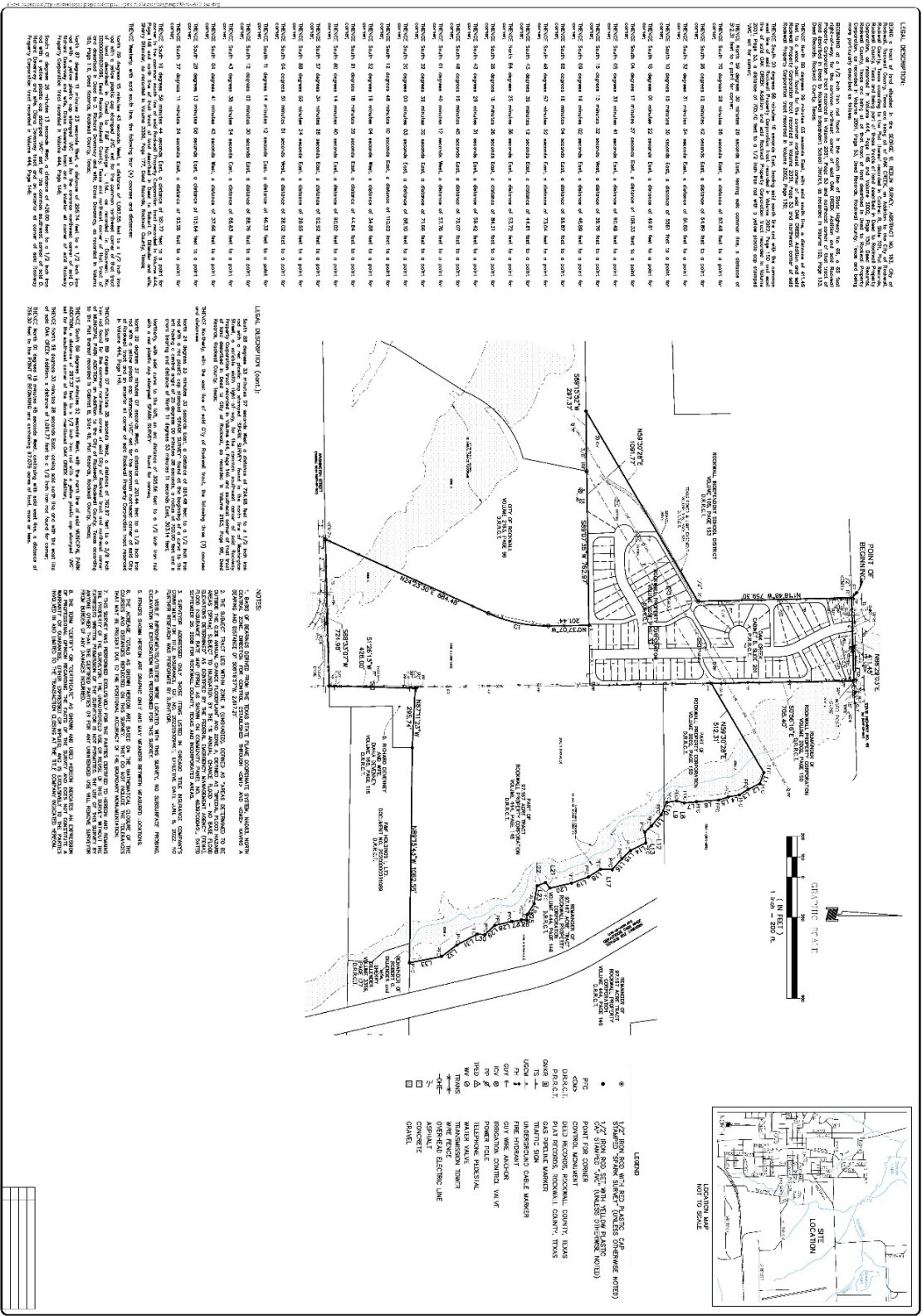
North 00 degrees 37 minutes 07 seconds West, a distance of 201.44-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common northeast corner of said City of Rockwall tract and an exterior ell corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146;

*THENCE* South 89 degrees 07 minutes 35 seconds West, a distance of 762.97-feet to a 3/8-inch iron rod found for the common northwest corner of said City of Rockwall tract and northeast corner of *MUNICIPAL PARK ADDITION*, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 49, Plat Records, Rockwall County, Texas;

*THENCE* South 89 degrees 15 minutes 52 seconds West, with the north line of said *MUNICIPAL PARK ADDITION*, a distance of 297.37-feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the southwest corner of the above-mentioned OAK CREEK Addition;

*THENCE* North 59 degrees 30 minutes 28 seconds East, leaving said north line and with the west line of said *OAK CREEK* Addition, a distance of 1,091.77-feet to a ½-inch iron rod found for corner;

*THENCE* North 01 degrees 18 minutes 48 seconds West, continuing with said west line, a distance of 759.30-feet to the *POINT OF BEGINNING* and containing 65.309 acres of land, more or less.



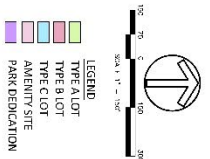
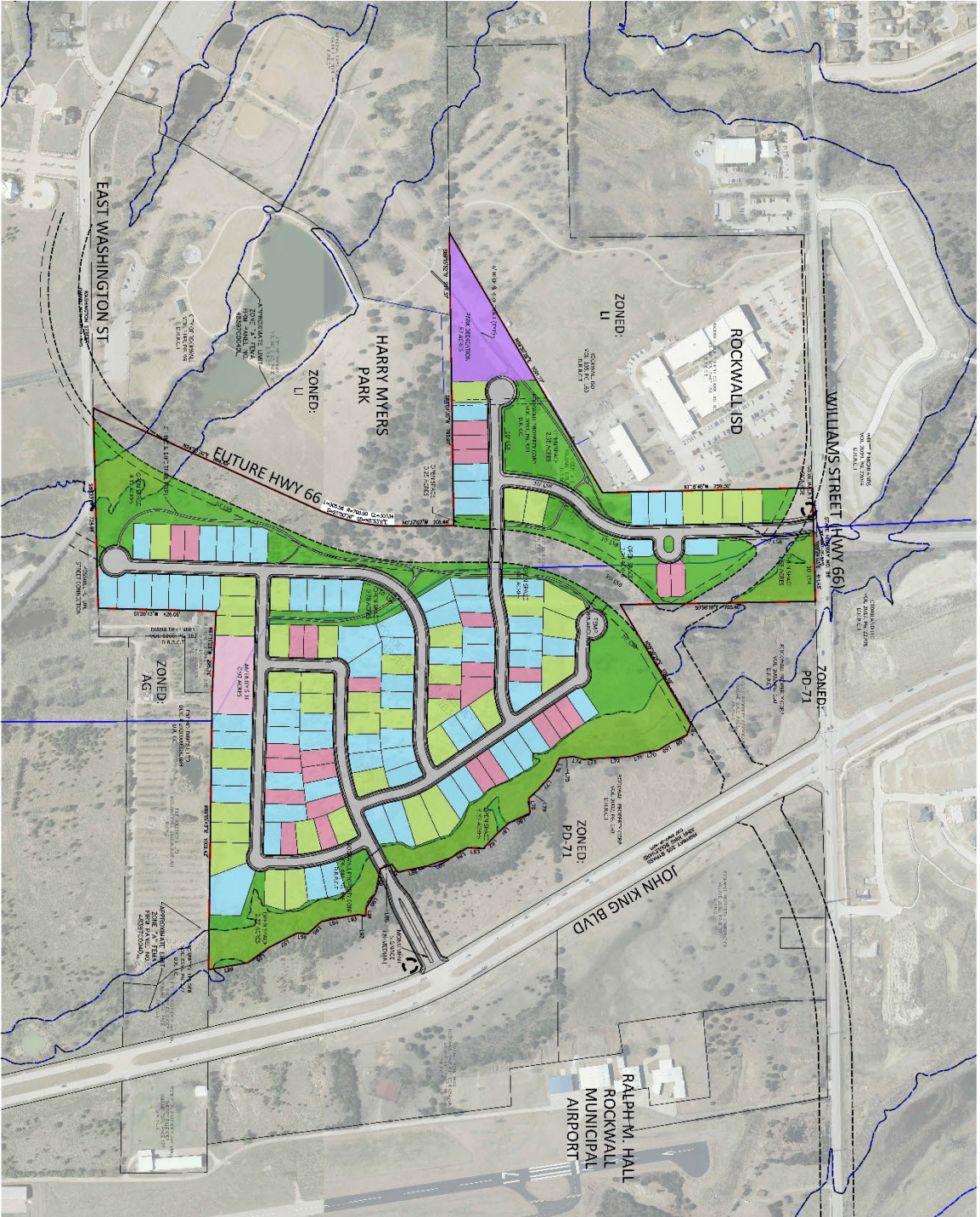
67.075 ACRES

LAND TITLE SURVEY

GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**JOHNSON VOLK CONSULTING**  
 18615 Engineering Pkwy, Suite 1100, Rockwall, TX 75087  
 Phone: (972) 982-1100 | Fax: (972) 982-1101  
 www.johnsonvolk.com



ALL LOT LINES SHALL BE 200' MIN. WIDE  
 ALL LOT LINES SHALL BE 100' MIN. WIDE  
 ALL LOT LINES SHALL BE 50' MIN. WIDE  
 ALL LOT LINES SHALL BE 25' MIN. WIDE

**LOT DIMENSION STANDARDS**

MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM LOT FRONT SETBACK	MINIMUM LOT SIDE SETBACK	MINIMUM LOT REAR SETBACK
10,000	100	100	10	10	10
15,000	125	125	15	15	15
20,000	150	150	20	20	20
25,000	175	175	25	25	25
30,000	200	200	30	30	30
35,000	225	225	35	35	35
40,000	250	250	40	40	40
45,000	275	275	45	45	45
50,000	300	300	50	50	50

**Lot Table**

Lot #	Area (sq ft)	Width (ft)	Depth (ft)	Front Setback (ft)	Side Setback (ft)	Rear Setback (ft)
1	10,000	100	100	10	10	10
2	15,000	125	125	15	15	15
3	20,000	150	150	20	20	20
4	25,000	175	175	25	25	25
5	30,000	200	200	30	30	30
6	35,000	225	225	35	35	35
7	40,000	250	250	40	40	40
8	45,000	275	275	45	45	45
9	50,000	300	300	50	50	50

**CONCEPT PLAN  
 PARK HILLS  
 144 SINGLE-FAMILY LOTS  
 65.309 Acres  
 Rockwall, Texas**

**JOHNSON YOLK  
 CONSULTING**

7802 E. FARMER ROAD, SUITE 100, ROCKWALL, TEXAS 75087  
 (972) 962-1000 | www.johnsonyolk.com

ZONING CASE #2022-037

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit ‘C’* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	72' x 120'	8,400 SF	41	28.50%
B	62' x 120'	7,200 SF	75	52.10%
C	52' x 120'	6,000 SF	28	19.40%
<i>Maximum Permitted Units:</i>			144	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 8.4 (SF-8.4) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.21 dwelling units per gross acre of land; however, in no case should the proposed development exceed 144 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see Concept Plan) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'
<i>Minimum Lot Area</i>	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	35'	35'	35'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,500 SF	2,400 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

**General Notes:**

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5:</sup> Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6:</sup> *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7:</sup> All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see examples below) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

*FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD*



*FIGURE 2: EXAMPLES OF BOARD AND BATTEN*



*Continued on Next Page ...*



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** All of the *Type 'C'* lots (*i.e. the 52' x 120' lots*) may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining *Type 'A' & 'B'* lots (*i.e. the 62' x 120' and 72' x 120' lots*) shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see *Figures 4-6 for examples of upgraded or enhanced finishes*].

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**



(5) ***Anti-Monotony Restrictions.*** The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 7 & 8* below).

**TABLE 3: ANTI-MONOTONY MATRIX**

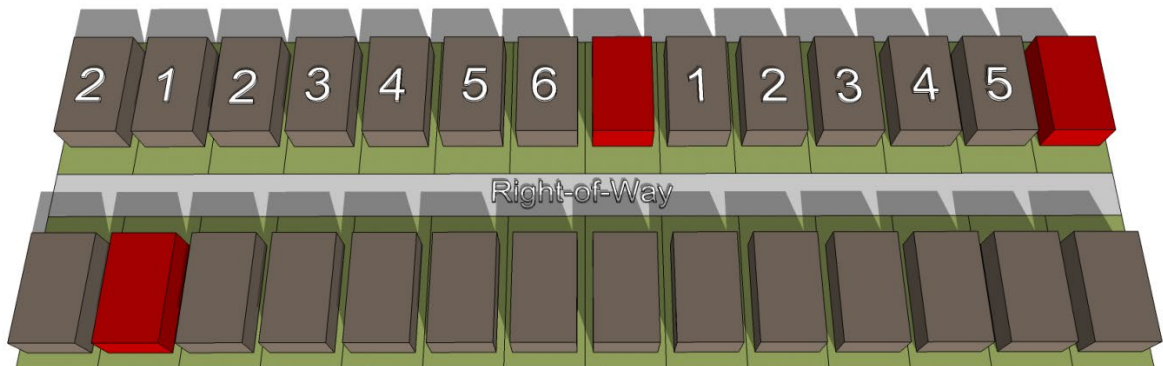
<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	8,400 SF	(1), (2), (3), (4)
B	7,200 SF	(1), (2), (3), (4)
E	6,000 SF	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on

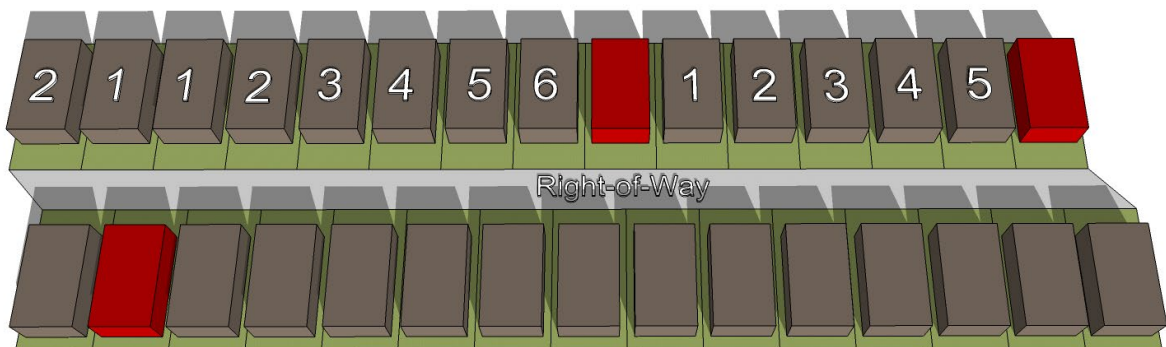
the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, SH-66 (*Future*), or Harry Myers Park shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

**FIGURE 7:** Properties line up on the opposite side of the street. Where **RED** is the subject property.



**FIGURE 8:** Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. including the future right-of-way for SH-66*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
  - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
  - (f) Fence in Easements. No fencing shall be constructed in or across a North Texas Municipal Water District (NTMWD) easement and/or an easement of the City of Rockwall.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
  - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) Landscape Buffer and Sidewalks (Future SH-66). A minimum of a 30-foot landscape buffer shall be provided along the future right-of-way for SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 36-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
  - (2) Landscape Buffer and Sidewalks (E. Williams Street). A minimum of a 30-foot landscape buffer shall be provided along E. Williams Street (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
  - (3) Landscape Buffers (Adjacent to Open Space). A minimum of a ten (10) foot landscape buffer shall be provided along streets that have frontage on open space. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
  - (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
  - (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
  - (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
  - (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.

- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (or a minimum of 13.0618-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance. This trail system should connect the residents to the adjacent Harry Myers Park.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*; however, the signage should be equal to or better than existing neighborhood signage along John King Boulevard. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



## MEMORANDUM

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**TO:** Mary Smith, City Manager

**CC:** Honorable Mayor and City Council

**FROM:** Ryan Miller, Director of Planning and Zoning

**DATE:** September 6, 2022

**SUBJECT:** P2022-038; FINAL PLAT FOR LOT 1, BLOCK A, PARK STATION ADDITION

---

### Attachments

Case Memo  
Development Application  
Location Map  
Final Plat

### Summary/Background Information

Consider a request by Bill Bricker of Columbia Extrusion Corporation for the approval of a *Conveyance Plat* for Lot 1, Block A, Park Station Addition being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

### Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Final Plat.



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

**PLANNING AND ZONING DEPARTMENT**  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** September 13, 2022  
**APPLICANT:** Bill Bricker; *Columbia Extrusion Corporation*  
**CASE NUMBER:** P2022-038; *Final Plat for Lot 1, Block A, Park Station Addition*

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**SUMMARY**

Consider a request by Bill Bricker of Columbia Extrusion Corporation for the approval of a Conveyance Plat for Lot 1, Block A, Park Station Addition being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

**PLAT INFORMATION**

- The applicant is requesting the approval of a Final Plat of a 16.26-acre tract of land (*i.e. Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29*) for the purpose of creating one (1) lot (*i.e. Lot 1, Block A, Park Station Addition*) and dedicating right-of-way for the future alignment of SH-66. This Final Plat also maintains an existing access easement that connects the property to the south of the subject property to E. Washington Street.
- The subject property was annexed on February 6, 1961 by *Ordinance No. 60-01 [A1960-001]*. According to the City's historic zoning maps, the subject property has been zoned Light Industrial (LI) District since at least January 3, 1972. On July 14, 2000, the City Council approved a final plat for a portion of this property (*i.e. 7.409-acres*), establishing it as Lot 1, Block 1, Indalloy Addition by *Case No. PZ2000-055-01*. On November 19, 2018, the City Council approved a change in zoning [*Case No. Z2018-032; Ordinance No. 18-46*] from a Light Industrial (LI) District to Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District, and Light Industrial (LI) District land uses. On July 15, 2019, the City Council approved a preliminary plat [*Case No. P2019-026*] for the purpose of establishing a lot layout for a townhome development (*i.e. Park Station, Phase 1*). This preliminary plat expired on July 15, 2020. The subject property is currently vacant with the exception of a private driveway that connects the property south of the subject property to E. Washington Street.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

**CONDITIONS OF APPROVAL**

If the City Council chooses to approve the Final Plat for Lot 1, Block A, Park Station Addition, staff would propose the following conditions of approval:



- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On August 30, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Final Plat by a vote of 5-0, with Commissioners Conway and Womble absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>

FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1200 E Washington

SUBDIVISION Park Station LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Washington at Harry Myers Park

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 87 CURRENT USE Undeveloped

PROPOSED ZONING PD 87 PROPOSED USE "

ACREAGE 16.26 LOTS [CURRENT] 2 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Columbia Extrusion Corporation  APPLICANT Same

CONTACT PERSON Bill Bricker CONTACT PERSON \_\_\_\_\_

ADDRESS 305 Park Place Blvd. ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP \_\_\_\_\_

PHONE 972-722-2439 PHONE Cell 214-801-6157

E-MAIL bill@colventures.com E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

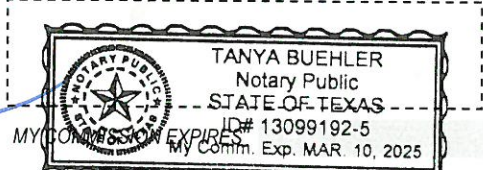
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bill Bricker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF August, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF August, 2022

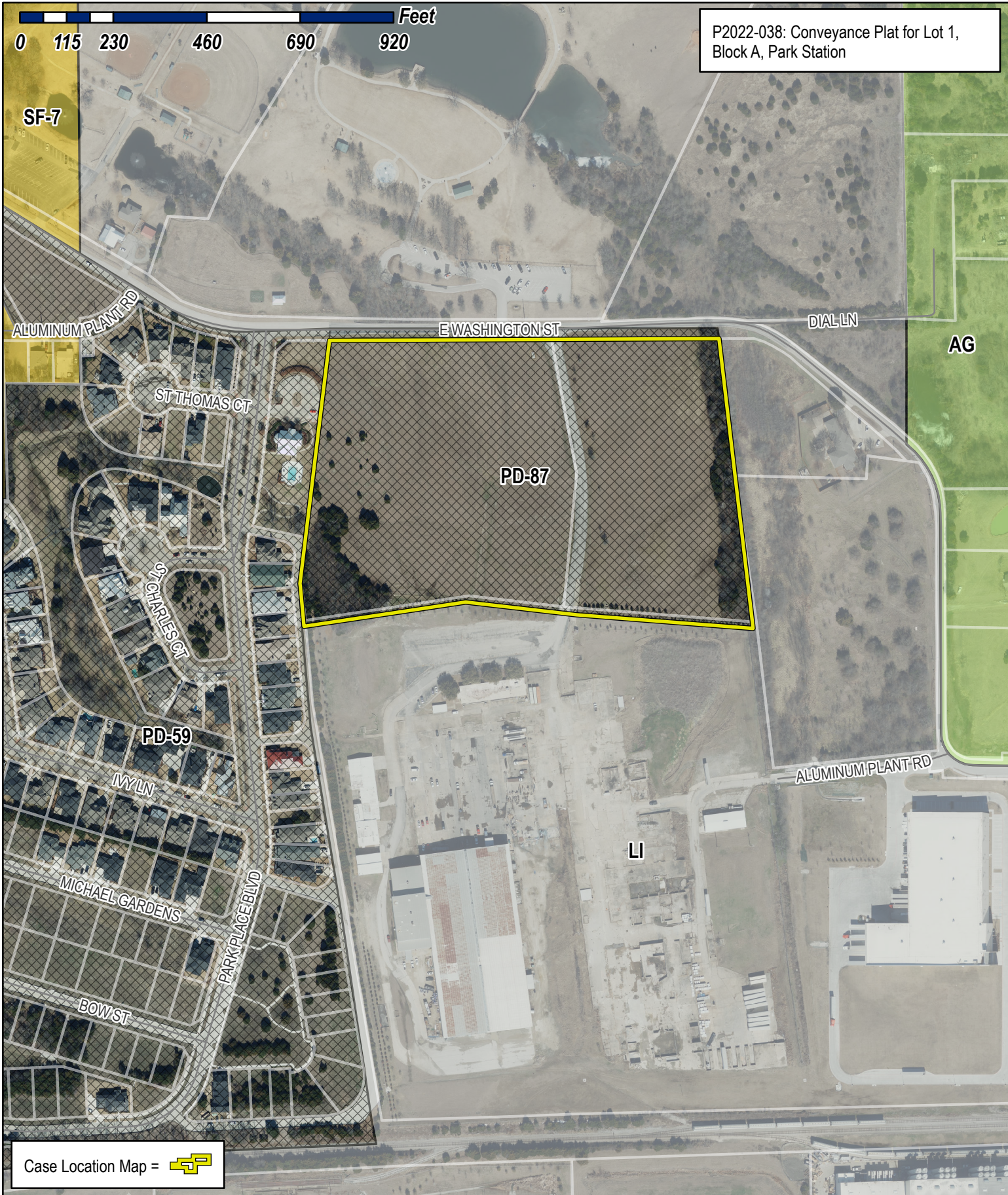
OWNER'S SIGNATURE Bill Bricker


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Tanya Buehler



0 115 230 460 690 920 Feet

P2022-038: Conveyance Plat for Lot 1, Block A, Park Station



Case Location Map = 



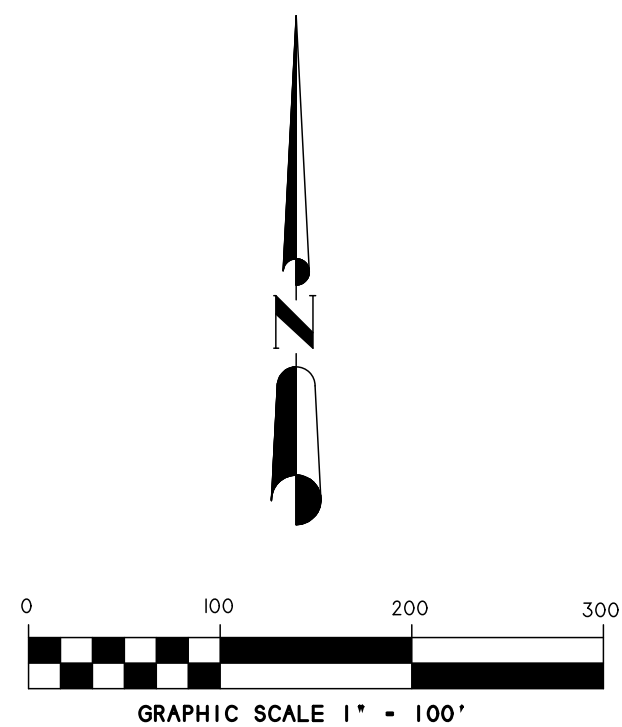
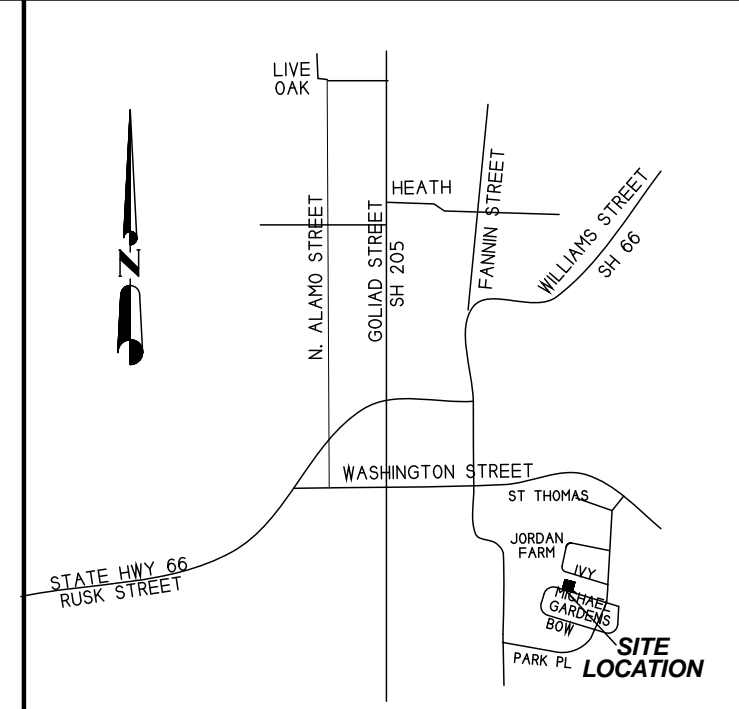
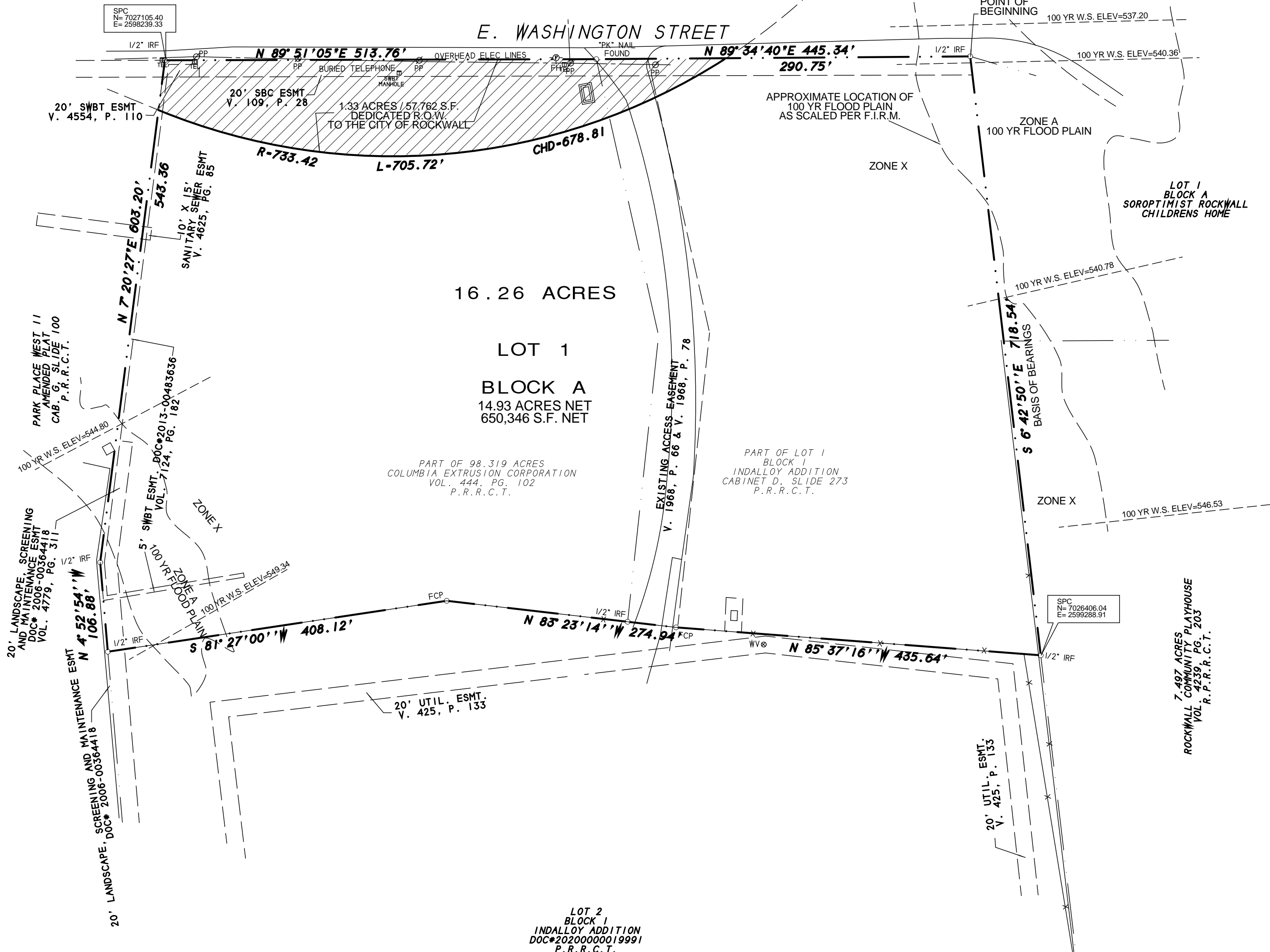
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



HARRY MYERS PARK  
CITY OF ROCKWALL



16.26 ACRES  
**LOT 1**  
**BLOCK A**  
14.93 ACRES NET  
650,346 S.F. NET

PART OF 98.319 ACRES  
COLUMBIA EXTRUSION CORPORATION  
VOL. 444, PG. 102  
P.R.R.C.T.

PART OF LOT 1  
BLOCK 1  
INDALLOY ADDITION  
CABINET D, SLIDE 273  
P.R.R.C.T.

CURVE DATA TABLE

CURVE	CENTRAL ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD	CHORD BEARING
C-1	55°07'56"	733.42'	382.87'	705.72'	678.81'	S 84°14'49"W

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
- 4) Property owners are responsible for maintenance, repair and replacement of all retaining walls, the HOA and the owner are responsible for drainage and detention systems in easements.

CONVEYANCE PLAT  
**PARK STATION**  
**LOT 1, BLOCK A**

16.26 ACRES 708,108 S.F.  
BEING A REPLAT OF  
PART OF INDALLOY ADDITION  
PART OF 98.319 ACRES TRACT  
R. BALLARD SURVEY, ABSTRACT NO. 29  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND

⊕ TELEPHONE	⊕ GAS	⊕ TEL	⊕ F1	⊕ F2
⊕ CABLE RISER	⊕ METER	⊕ RISER	⊕ FIRE	⊕ POWER
⊕ RISER	⊕ HYDRANT	⊕ POLE	⊕	⊕
⊕ ELEC	⊕ ELEC	⊕ MTR	⊕ L.P.	⊕ 12" IRF
⊕ ELECTRIC	⊕ BOB	⊕ METER	⊕ LIGHT	⊕ 12" IRF
⊕ METER	⊕ SUBURFACE	⊕ JUNCTION	⊕ BOX	⊕ 12" IRF
⊕	⊕	⊕	⊕	⊕
⊕ FENCE	⊕ EASEMENT	⊕ LINE	⊕	⊕
⊕	⊕	⊕	⊕	⊕
⊕	⊕	⊕	⊕	⊕

OWNER:  
COLUMBIA EXTRUSION CORPORATION  
BILL BRICKER  
305 PARK PLACE BOULEVARD  
ROCKWALL, TEXAS 75087

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE [tracy@hdfetty.com](mailto:tracy@hdfetty.com)

SURVEY DATE: JUNE 2022  
SCALE 1" = 100' FILE # 20140274-RP  
CLIENT CDC, LLC GF # NONE

OWNER'S CERTIFICATE  
(Public Dedication)  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS COLUMBIA EXTRUSION CORPORATION, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the R. BALLARD SURVEY, ABSTRACT NO. 29, City of Rockwall, Rockwall County, Texas, and being a part of Lot 1, Block 1, INDALLOY ADDITION, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 273 of the Plat Records of Rockwall County, Texas, and also being a part of a 98.319 acres tract of land as described in a Warranty deed from Alumax Aluminum Corporation to Columbia Extrusion Corporation, dated December 22, 1988 and being recorded in Volume 444, Page 102 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south line of E. Washington Street, at the northeast corner of said Lot 1, Block 1, Indalloy Addition;

THENCE S. 06 deg. 42 min. 50 sec. E. along the east boundary of said Lot 1, a distance of 718.54 feet to a 1/2" iron rod found for corner at the northeast corner of Lot 2, Block 1, Indalloy Addition, an Addition to the City of Rockwall, Texas, according to the Replat recorded in Document no. 2020000019991 of the Plat Records of Rockwall County, Texas;

THENCE N. 85 deg. 37 min. 16 sec. W. along the north boundary of said Lot 2, a distance of 435.64 feet to a fence post found for corner;

THENCE N. 83 deg. 23 min. 14 sec. W. along the north boundary of said Lot 2, a distance of 274.94 feet to a fence post found for corner;

THENCE S 81 deg. 27 min. 00 sec. W. along the north boundary of said Lot 2, a distance of 408.12 feet to a 1/2" iron rod found for corner in the east boundary of Park Place West II, an Addition to the City of Rockwall, Texas, according to the Amended plat recorded in Cabinet G, Slide 100 of the Plat Records of Rockwall County, Texas;

THENCE N. 04 deg. 52 min. 54 sec. W. along the east boundary of said Addition, a distance of 106.88 feet to a 1/2" iron rod found for corner;

THENCE N. 07 deg. 20 min. 27 sec. E. along the east boundary of said Addition, a distance of 603.20 feet to a 1/2" iron rod found for corner in the south line of E. Washington Street;

THENCE N. 89 deg. 51 min. 05 sec. E. along the south line of E. Washington Street, a distance of 513.76 feet to a P-K Nail found for corner;

THENCE N. 89 deg. 34 min. 40 sec. E. along the south line of E. Washington Street, a distance of 445.34 feet to the POINT OF BEGINNING and containing 708,108 square feet or 16.26 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as PARK STATION LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in PARK STATION LOT 1, BLOCK A have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7) Property owners are responsible for maintenance, repair and replacement of all retaining walls and drainage and detention systems in easements.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

Bill Bricker  
for COLUMBIA EXTRUSION CORPORATION

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Bill Bricker known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

APPROVED

I hereby certify that the above and foregoing plat of PARK STATION LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Director of Planning \_\_\_\_\_

City Engineer \_\_\_\_\_

Date \_\_\_\_\_

CONVEYANCE PLAT  
**PARK STATION  
LOT 1, BLOCK A**

16.26 ACRES 708,108 S.F.

BEING A REPLAT OF  
PART OF INDALLOY ADDITION  
PART OF 98.319 ACRES TRACT  
R. BALLARD SURVEY, ABSTRACT NO. 29  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:  
COLUMBIA EXTRUSION CORPORATION  
BILL BRICKER  
305 PARK PLACE BOULEVARD  
ROCKWALL, TEXAS 75087

SYMBOL LEGEND	
TV	TELEVISION CABLE ROOF
GAS	GAS METER
PHONE	PHONE METER
FIRE	FIRE HYDRANT
POWER	POWER POLE
ELEC.	ELECTRIC METER
ELEC. BOX	ELECTRIC JUNCTION BOX
WATER	WATER METER
LP	L.P. GAS METER
ROOF	ROOF IRON FINDING CORNER
ASPH.	ASPH. ROOF FINDING CORNER
PROFANE	PROFANE TANK
---	EASEMENT LINE
---	PROPERTY LINES

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

**H.D. Fetty Land Surveyor, LLC**

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 17, 2020  
SCALE 1" = 20' FILE # 20200432-RP  
CLIENT CDC, LLC GF # NONE

CITY CASE P2022-

## Teague, Kristy

---

**Subject:** FW: Appointment Request

**From:** Tim Herriage

**Sent:** Tuesday, August 23, 2022 2:34 PM

**To:** Teague, Kristy <[KTeague@Rockwall.com](mailto:KTeague@Rockwall.com)>

**Cc:** Frank Garza; Fowler, Kevin <[KevinFowler@rockwall.com](mailto:KevinFowler@rockwall.com)>; Johannesen, Trace <[TraceJohannesen@rockwall.com](mailto:TraceJohannesen@rockwall.com)>

**Subject:** Appointment Request

**Importance:** High

I need to address the City Council:

The HPAB is not properly formed, and therefore operating outside of it's authorization. It should be immediately properly filled, or not be allowed to conduct business.

According to my open records request W015824-053122, the board does not comply with item (1) or (3) of the UDC:

UDC: According to the UDC, there are requirements for the make up of the HPAB. I need to know the qualifications of each board member. I need to establish if the board is properly staffed and organized: Term of Office; Qualifications. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term, the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed. The membership shall include: (1) An architect, planner or representative of a design profession; (2) A member of the Rockwall County Historical Foundation; (3) A general contractor; (4) An owner of property within a historic district; (5) Three (3) citizens of Rockwall interested in historic preservation.

*Regards,*

**Tim Herriage**

214.607.1227

519 E. I-30

Suite 422

Rockwall, TX 75087



City of Rockwall  
*The New Horizon*

## MEMORANDUM

---

**TO: Mayor and City Council members**

**FROM: Mary Smith, City Manager**

**DATE: September 1, 2022**

**SUBJECT: Fiscal Year 2023 Ad Valorem Taxes and Proposed Budget**

---

For a copy of the proposed budget and associated documents, please visit:

<http://www.rockwall.com/meetings.asp#hide1>

and click on the 08/25/22 – Budget Work Session link under “2022 Council Meetings & Agendas”

The Council held the budget work session on August 25 and reviewed the Proposed FY2023 Budget in detail. The Proposed budget responds to the pressures high inflation is having on our employees affecting our ability to retain and recruit. It also responds to the escalating prices of materials and delayed timelines for receiving them. The City’s sales tax revenue has been stronger than anticipated in FY2022 and while we certainly hope, the trend continues we are projecting flat growth to be conservative.

There are eight new positions funded in the proposed budget including three in the Police department and three in the Fire Department. There is some replacement equipment included in the proposed budget as well as significant investment in our street maintenance of nearly \$3.0 million dollars to be used for repairs to extend the life of our streets.

The Proposed budget reflects tax revenues that assume adoption of the proposed rate that is 5.75 cents less than the current tax rate and below the No New Revenue Tax Rate. The proposed rate is 26.25 cents per hundred dollars of assessed value. This is the lowest tax rate that we can find in our history.

Prior to adoption of the budget, the Charter requires a public hearing. The budget is based on a rate less than the No New Revenue Tax rate and Voter Approval Rate so additional public hearings are not required although the tax rate itself is certainly a subject that may be discussed during the Public Hearing.

If the Council has any changes to be made to the budget draft, those can be discussed at this meeting. The Council will need to vote to advertise the adoption of the proposed 26.25-cent tax rate at the September 19 meeting.

CITY OF ROCKWALL

ORDINANCE NO. 22-47

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND PLANNED DEVELOPMENT DISTRICT 93 (PD-93) [ORDINANCE NO. 22-22], BEING A 115.80-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4-01 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, AND TRACTS 13 & 25 AND A PORTION OF TRACTS 10-02, 10-03, 25-1, & 26 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Ryan Joyce of the Michael Joyce Properties on behalf of Mike Peoples for the approval of a zoning change amending Planned Development District 93 (PD-93) [*Ordinance No. 22-22*] to incorporate a 21.83-acre tract of land into the existing 93.97-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (DF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 93 (PD-93) [*Ordinance No. 22-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 19-08*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;



**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 6.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.

- (f) PD Site Plan. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2022.**

\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: August 15, 2022

2<sup>nd</sup> Reading: September 6, 2022

*BEING* a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

*BEGINNING* at a ½-inch iron rod found in the south line of Farm to Market Road No. 1141, an 80-foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

*THENCE* Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the intersection of said south line with the south line of Cornelius Road, a 60-foot right-of-way;

*THENCE* North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

*THENCE* South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

*THENCE* South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

*THENCE* North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

*THENCE* North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

*THENCE* South 01 degrees 28 minutes 22 seconds East, a distance of 835.49 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 20190000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a ½-inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the *POINT OF BEGINNING* and containing 94.133 acres of land, more or less.



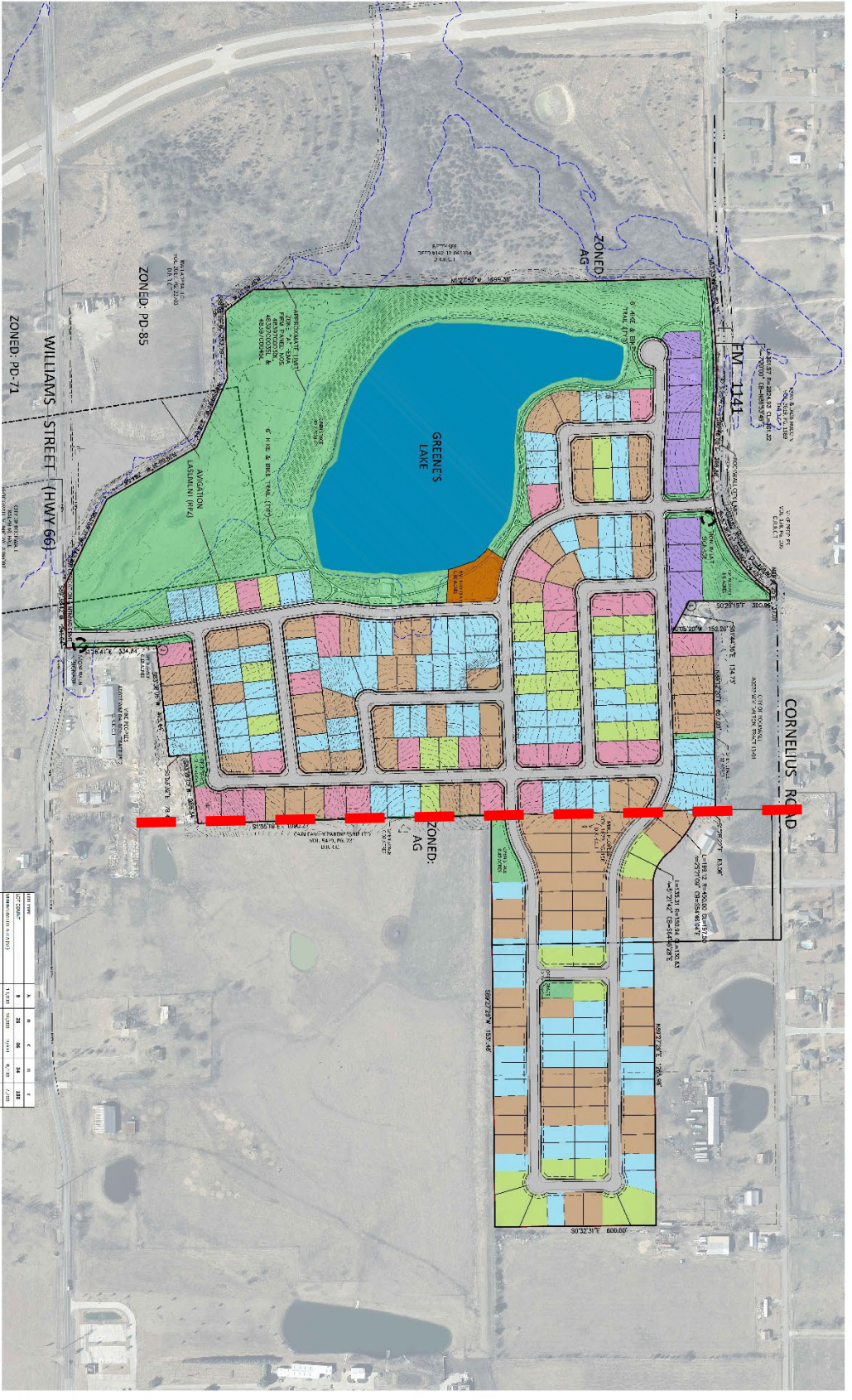
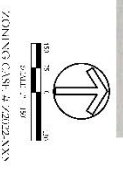
MULTIPLE USES: RESIDENTIAL  
 DEVELOPMENT, COMMERCIAL,  
 OFFICE, MANUFACTURING, ETC.  
 ZONING: PD-85, PD-71, AG  
 PROJECT: 115.80 ACRES  
 DATE: 10/11/14  
 DRAWN BY: J. W. BROWN  
 CHECKED BY: J. W. BROWN  
 APPROVED BY: J. W. BROWN  
 ASSOCIATION: TEXAS PROFESSIONAL ENGINEERS

ITEM	DESCRIPTION	AMOUNT
1	CONCEPT PLAN	115.80 ACRES
2	TERACED LOTS	115.80 ACRES
3	ROADWAY	4.27 ACRES
4	WATER	4.27 ACRES
5	SEWER	4.27 ACRES
6	UTILITIES	4.27 ACRES
7	LANDSCAPE	4.27 ACRES
8	CONCRETE	4.27 ACRES
9	PAVING	4.27 ACRES
10	LANDSCAPE	4.27 ACRES
11	CONCRETE	4.27 ACRES
12	PAVING	4.27 ACRES
13	LANDSCAPE	4.27 ACRES
14	CONCRETE	4.27 ACRES
15	PAVING	4.27 ACRES
16	LANDSCAPE	4.27 ACRES
17	CONCRETE	4.27 ACRES
18	PAVING	4.27 ACRES
19	LANDSCAPE	4.27 ACRES
20	CONCRETE	4.27 ACRES
21	PAVING	4.27 ACRES
22	LANDSCAPE	4.27 ACRES
23	CONCRETE	4.27 ACRES
24	PAVING	4.27 ACRES
25	LANDSCAPE	4.27 ACRES
26	CONCRETE	4.27 ACRES
27	PAVING	4.27 ACRES
28	LANDSCAPE	4.27 ACRES
29	CONCRETE	4.27 ACRES
30	PAVING	4.27 ACRES
31	LANDSCAPE	4.27 ACRES
32	CONCRETE	4.27 ACRES
33	PAVING	4.27 ACRES
34	LANDSCAPE	4.27 ACRES
35	CONCRETE	4.27 ACRES
36	PAVING	4.27 ACRES
37	LANDSCAPE	4.27 ACRES
38	CONCRETE	4.27 ACRES
39	PAVING	4.27 ACRES
40	LANDSCAPE	4.27 ACRES
41	CONCRETE	4.27 ACRES
42	PAVING	4.27 ACRES
43	LANDSCAPE	4.27 ACRES
44	CONCRETE	4.27 ACRES
45	PAVING	4.27 ACRES
46	LANDSCAPE	4.27 ACRES
47	CONCRETE	4.27 ACRES
48	PAVING	4.27 ACRES
49	LANDSCAPE	4.27 ACRES
50	CONCRETE	4.27 ACRES

**CONCEPT PLAN**  
**TERACED LOTS**  
**115.80 ACRES**  
**ROCKWALL, TEXAS**

LOT #	ACRES	MIN. LOT SIZE
1	1.15	11,580 SQ. FT.
2	1.15	11,580 SQ. FT.
3	1.15	11,580 SQ. FT.
4	1.15	11,580 SQ. FT.
5	1.15	11,580 SQ. FT.
6	1.15	11,580 SQ. FT.
7	1.15	11,580 SQ. FT.
8	1.15	11,580 SQ. FT.
9	1.15	11,580 SQ. FT.
10	1.15	11,580 SQ. FT.
11	1.15	11,580 SQ. FT.
12	1.15	11,580 SQ. FT.
13	1.15	11,580 SQ. FT.
14	1.15	11,580 SQ. FT.
15	1.15	11,580 SQ. FT.
16	1.15	11,580 SQ. FT.
17	1.15	11,580 SQ. FT.
18	1.15	11,580 SQ. FT.
19	1.15	11,580 SQ. FT.
20	1.15	11,580 SQ. FT.
21	1.15	11,580 SQ. FT.
22	1.15	11,580 SQ. FT.
23	1.15	11,580 SQ. FT.
24	1.15	11,580 SQ. FT.
25	1.15	11,580 SQ. FT.
26	1.15	11,580 SQ. FT.
27	1.15	11,580 SQ. FT.
28	1.15	11,580 SQ. FT.
29	1.15	11,580 SQ. FT.
30	1.15	11,580 SQ. FT.
31	1.15	11,580 SQ. FT.
32	1.15	11,580 SQ. FT.
33	1.15	11,580 SQ. FT.
34	1.15	11,580 SQ. FT.
35	1.15	11,580 SQ. FT.
36	1.15	11,580 SQ. FT.
37	1.15	11,580 SQ. FT.
38	1.15	11,580 SQ. FT.
39	1.15	11,580 SQ. FT.
40	1.15	11,580 SQ. FT.
41	1.15	11,580 SQ. FT.
42	1.15	11,580 SQ. FT.
43	1.15	11,580 SQ. FT.
44	1.15	11,580 SQ. FT.
45	1.15	11,580 SQ. FT.
46	1.15	11,580 SQ. FT.
47	1.15	11,580 SQ. FT.
48	1.15	11,580 SQ. FT.
49	1.15	11,580 SQ. FT.
50	1.15	11,580 SQ. FT.

- ZONE A (SINGLE-FAMILY RESIDENTIAL)
- ZONE B (SINGLE-FAMILY RESIDENTIAL)
- ZONE C (SINGLE-FAMILY RESIDENTIAL)
- ZONE D (SINGLE-FAMILY RESIDENTIAL)
- ZONE E (SINGLE-FAMILY RESIDENTIAL)
- ZONE F (SINGLE-FAMILY RESIDENTIAL)
- ZONE G (SINGLE-FAMILY RESIDENTIAL)
- ZONE H (SINGLE-FAMILY RESIDENTIAL)
- ZONE I (SINGLE-FAMILY RESIDENTIAL)
- ZONE J (SINGLE-FAMILY RESIDENTIAL)
- ZONE K (SINGLE-FAMILY RESIDENTIAL)
- ZONE L (SINGLE-FAMILY RESIDENTIAL)
- ZONE M (SINGLE-FAMILY RESIDENTIAL)
- ZONE N (SINGLE-FAMILY RESIDENTIAL)
- ZONE O (SINGLE-FAMILY RESIDENTIAL)
- ZONE P (SINGLE-FAMILY RESIDENTIAL)
- ZONE Q (SINGLE-FAMILY RESIDENTIAL)
- ZONE R (SINGLE-FAMILY RESIDENTIAL)
- ZONE S (SINGLE-FAMILY RESIDENTIAL)
- ZONE T (SINGLE-FAMILY RESIDENTIAL)
- ZONE U (SINGLE-FAMILY RESIDENTIAL)
- ZONE V (SINGLE-FAMILY RESIDENTIAL)
- ZONE W (SINGLE-FAMILY RESIDENTIAL)
- ZONE X (SINGLE-FAMILY RESIDENTIAL)
- ZONE Y (SINGLE-FAMILY RESIDENTIAL)
- ZONE Z (SINGLE-FAMILY RESIDENTIAL)



**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 130'	13,000 SF	9	03.42%
B	82' x 120'	10,000 SF	26	09.98%
C	72' x 110'	9,000 SF	86	32.70%
D	72' x 110'	8,400 SF	34	12.93%
E	62' x 110'	7,200 SF	108	41.06%
<i>Maximum Permitted Units:</i>			263	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from the that in Subsection (2), *Residential Lot Composition and Layout*, of this ordinance provided that the maximum allowed total dwelling units does not exceed 263 units provided [1] a minimum of 58.94% of the total lot count be comprised of *Lot Types 'A', 'B', 'C' & 'D'*, [2] a minimum of nine (9) *Lot Type 'A'* and 26 *Lot Type 'B'* lots are provided, and [3] a maximum of 41.06% *Lot Type 'E'* lots can be provided.
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.27 dwelling units per gross acre of land; however, in no case should the proposed development exceed 263 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see Concept Plan) ►	A	B	C	D	E
<i>Minimum Lot Width</i> <sup>(1)</sup>	100'	82'	72'	72'	62'
<i>Minimum Lot Depth</i>	130'	120'	115'	110'	110'
<i>Minimum Lot Area</i>	13,000 SF	10,000 SF	9,000 SF	8,400 SF	7,200 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	25'	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	15'	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	15'	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	25'	20'	20'	20'	20'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,400 SF	2,200 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	45'	45'	45'	65'	65'

**General Notes:**

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5:</sup> Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features

may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- 7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

(5) **Building Standards.** All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**





- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 20.15% or 53 of the 263 garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 79.85% or 210 garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see *Figures 4-6 for examples of upgraded or enhanced finishes*].

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**



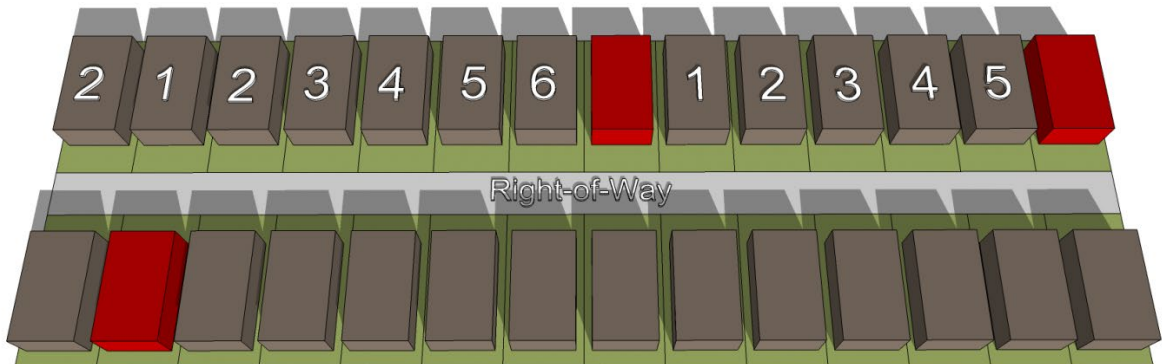
- (6) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

**TABLE 3: ANTI-MONOTONY MATRIX**

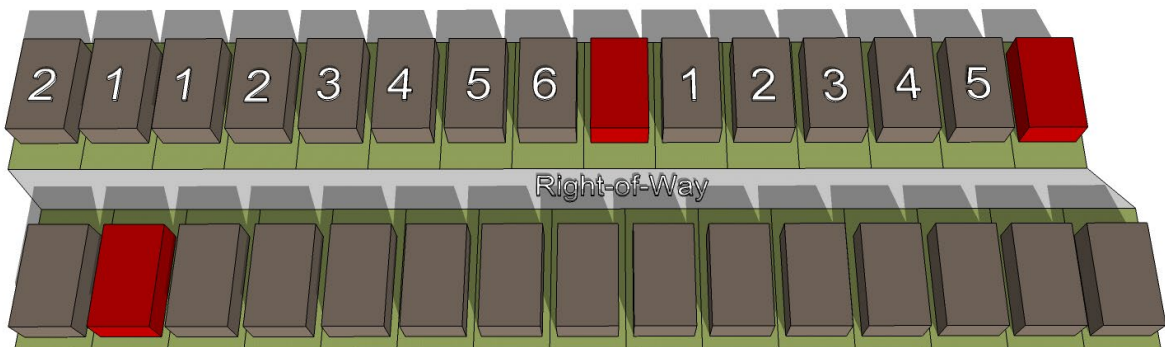
<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	13,000 SF	(1), (2), (3), (4)
B	10,000 SF	(1), (2), (3), (4)
C	9,000 SF	(1), (2), (3), (4)
D	8,400 SF	(1), (2), (3), (4)
E	7,200 SF	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, Cornelius Road, FM-1141, or SH-66 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

**FIGURE 7:** Properties line up on the opposite side of the street. Where **RED** is the subject property.



**FIGURE 8:** Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-1141, Cornelius Road, and SH-66*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height. The *Lot Type 'A'* lots shall be required to utilize wrought iron/tubular steel fencing.
  - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
  - (f) Fence in Easements. No fencing shall be constructed in or across a North Texas Municipal Water District (NTMWD) easement and/or an easement of the City of Rockwall.
  - (g) Additional Fence Requirements. In addition to the abovementioned fence requirements the following additional requirements will need to be met for *Locations ① & ②* as depicted on *Exhibit 'C'* of this ordinance.
    - (1) Location ①. In Location ①, where the *Lot Types 'A' & 'B'* lots abut an existing single-family home that has an existing six (6) foot or greater wood fence, the wood fence shall be permitted to remain on the shared property line and serve both lots.
    - (2) Location ②. In Location ②, where the lots abut a non-residential land use along the southern property line, a minimum of an eight (8) foot wood fence meeting the requirements of Subsection (b), *Wood Fences*, and Subsection (e), *Solid Fences (including Woods Fences)*, above shall be constructed. In addition, one (1) row of a

minimum of four (4), four (4) inch caliper Eastern Red Cedar or Leland Cypress trees shall be planted along the rear property line of each property.

(8) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
- (2) Landscape Buffer and Sidewalks (SH-66). A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
- (3) Landscape Buffers (Adjacent to Open Space). A minimum of a ten (10) foot landscape buffer shall be provided along streets that have frontage on open space. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition,

corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.

- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (10) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (12) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) Open Space/Public Park. The development shall consist of a minimum of 20% open space (or a minimum of 23.16-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. For the 182 lots associated with *Phase 1* of the subdivision (i.e. the portion of the subdivision shown east of the redline dashed in *Exhibit 'C'*), the developer shall be required to use the pro-rata equipment and cash-in-lieu of land fees -- in the amounts stipulated by the *Parkland Dedication Ordinance* -- to establish a public park with amenities on the four (4) acre tract of land (i.e. *Tract 13-01 of the W. M. Dalton Survey, Abstract 72*) owned by the City of Rockwall adjacent to Cornelius Road. Amenities for this public park shall include irrigation, parking, a playground, walking trails, and benches. All equipment and improvements within the public park shall be built to the specifications stipulated by the Director of Parks and Recreation, and shall be provided by the developer in conjunction with the development of the proposed subdivision. Funds provided by the developer shall not be required to exceed the fees required through the *Parkland Dedication Ordinance*. Plans for the proposed public park shall be reviewed and recommended by the Parks and Recreation Board and approved by the City Council with the Preliminary Plat/Master Parks and Open Space Plan. In the event that the design of the public park cannot be agreed up by the *Developer* and the City of Rockwall, the *Developer* shall have the ability to satisfy the fees through the normal payment method dictated by the *Parkland Dedication Ordinance*.

For the lots on *Phase 2* of the subdivision (*i.e. the portion of the subdivision shown west of the redline dashed in Exhibit 'C'*), the *Developer* shall satisfy the fees through the normal payment method dictated by the *Parkland Dedication Ordinance*.

- (14) *Trails*. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) *Neighborhood Signage and Enhancements*. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*; however, the signage should be equal to or better than the representative signage depicted in *Exhibit 'C'*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) *Homeowner's Association (HOA)*. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



## MEMORANDUM

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**TO:** Honorable Mayor and City Council Members

**FROM:** Kristy Teague, City Secretary / Assistant to the City Manager

**DATE:** September 2, 2022

**SUBJECT:** Appointment of Students to YAC Program for 2021-2022 School Year

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Councilmembers Campbell and Jorif currently serve as the City Council liaisons for the Rockwall Youth Advisory Council (YAC) program. On Thurs., Sept. 1 Councilmember Jorif, Assistant to the City Secretary, Margaret Delaney, four incumbent YAC students, and I held brief interviews with 11 applicants. Seven of the eight incumbent YAC students have expressed a desire to return to the program and participate again this school year. So there are five (5) vacancies to fill.

Selecting a slate of students to recommend for appointment among such impressive applicants continues to be quite a challenge year-to-year. The City always attracts more bright, truly good applicants (numbers-wise) than there are available seats to fill. For various reasons, the City of Rockwall limits participation in the YAC program to twelve (12) students annually.

When vetting applicants, the interview panel considers several factors, with an emphasis being placed on giving preference to students who reside within our own city limits. Based on the most recent interview and selection process, the interview panel, along with Councilmembers Campbell and Jorif, are putting forth the following slate of students for consideration by the full Council at this time (see next page). It should be noted that regarding the two returning students who live in Fate and the one returning student who lives in Heath, I will reach out to city management in those cities to seek financial sponsorship for those three students. Both cities have traditionally been willing to fulfill sponsorships (\$250/student) for students selected who live in their cities.

Councilmember Campbell, Councilmember Jorif, and/or I will be happy to answer any questions Council may have pertaining to the recommended appointments and/or the YAC program in general at the meeting Tuesday evening.

On behalf of the interview panel, thank you for your consideration of this slate of students:



**PROPOSED YAC APPOINTEES  
2022-2023 School Year**

<b>Youth Advisory Council (Grade / School)</b>	<b>First Name</b>	<b>Last Name</b>	<b>City of Residence</b>
Senior (RHS)	Morgan	Crosby	Rockwall
Senior (RHS)	Jaxson	Stuart	Rockwall
Junior (RHS)	Miriam	Gamez	Fate
Junior (RHS)	Maddoc	Johnson	Rockwall
Sophomore (RHHS)	Keaton	Steen	Heath
Senior (RHHS)	Karmen	Fumey-Nassah	Fate
Junior (RHS)	Emily	Nielsen	Rockwall
Sophomore (RHS)	Contessa	Barron	Rockwall
Junior (RHHS)	James	Martinez	Rockwall
Junior (RHS)	Payton	Larson	Rockwall
Sophomore (RHS)	Kaylen	Pruitt	Rockwall
Freshman (RHS)	Bethellen	McReynolds	Rockwall
<b>Gray = New 2022-2023 Students</b>			



## MEMORANDUM

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**TO:** Mary Smith, City Manager  
**CC:** Honorable Mayor and City Council  
**FROM:** Kristy Teague  
**DATE:** September 6, 2022  
**SUBJECT:** **BOARDS & COMMISSIONS (RE)APPTS.**

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### Attachments

#### Summary/Background Information

Council has been provided a list of boards/commissions that have associated (re)appointments needed. Staff is available to assist, if necessary.

#### Action Needed



City of Rockwall  
*The New Horizon*

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## Building Inspections Department Monthly Report

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July 2022

### Permits

<b>Total Permits Issued:</b>	<b>355</b>
Building Permits:	32
Contractor Permits:	323
<b>Total Commercial Permit Values:</b>	<b>\$11,410,240.58</b>
Building Permits:	\$9,120,000.00
Contractor Permits:	\$2,290,240.58
<b>Total Fees Collected:</b>	<b>\$416,616.46</b>
Building Permits:	\$357,097.86
Contractor Permits:	\$59,518.60

### Board of Adjustment

Board of Adjustment Cases: 0

8/3/2022  
9:18:29AM

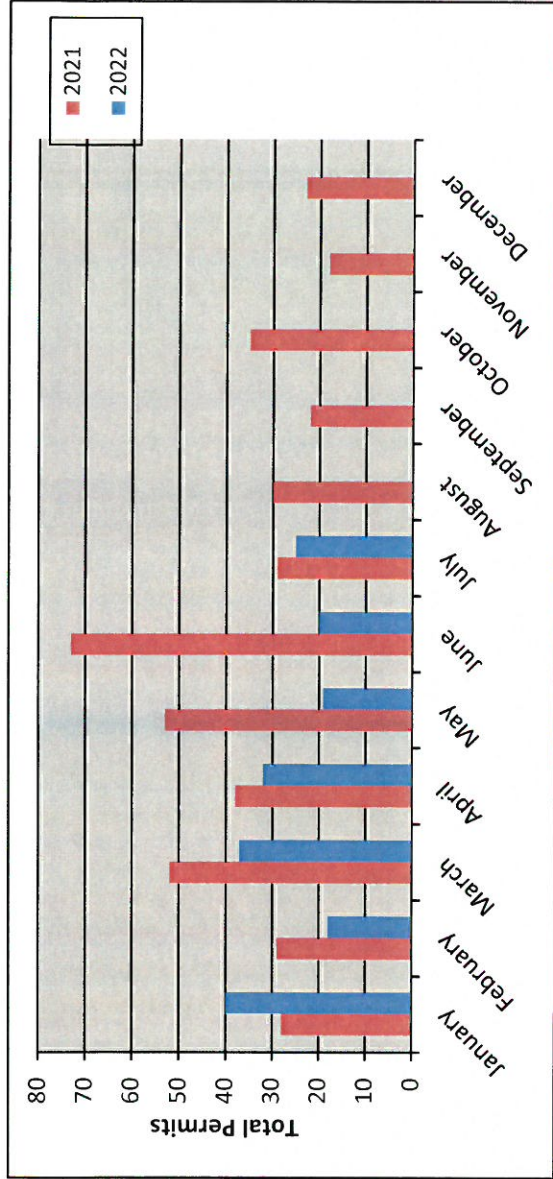
City of Rockwall  
PERMITS ISSUED - Summary by Type and Subtype  
For the Period 7/1/2022 to 7/31/2022

Type/Subtype	# of Permits Issued	Valuation of Work	Fees Charged
Commercial Building Permit	46	\$11,410,240.58	\$227,405.83
Addition	2	45,000.00	\$604.75
Certificate of Occupancy	11	718,400.00	\$838.50
Electrical Permit	3	45,000.00	\$691.85
Fence Permit	1		\$51.00
Irrigation Permit	2		\$17,655.87
Mechanical Permit	1	19,000.00	\$318.75
New Construction	3	9,075,000.00	\$196,243.95
Plumbing Permit	2	1,500.00	\$219.55
Remodel	4	1,186,480.00	\$8,258.61
Roofing Permit	7	265,583.26	\$535.50
Sign Permit	8	54,277.32	\$1,375.50
Temporary Certificate of Occupancy	2		\$612.00
Residential Building Permit	309		\$189,210.63
Addition	2		\$496.34
Concrete Permit	4		\$341.74
Deck Permit	1		\$0.00
Driveway Permit	3		\$580.63
Electrical Permit	11		\$1,514.09
Fence Permit	35		\$1,770.00
Irrigation Permit	32		\$2,419.50
Mechanical Permit	34		\$4,073.50
New Single Family Residential	25		\$159,752.82
Patio Cover/Pergola	10		\$1,300.70
Plumbing Permit	39		\$3,133.50
Pool	14		\$2,209.00
Remodel	2		\$1,143.62
Retaining Wall Permit	6		\$305.00
Roofing Permit	66		\$5,041.50
Solar Panel Permit	12		\$4,469.69
Takeline - Seawall	3		\$153.00
Window & Door Permit	10		\$506.00
<b>Totals:</b>	<b>355</b>		<b>\$416,616.46</b>

## New Residential Permits

### Calendar Year

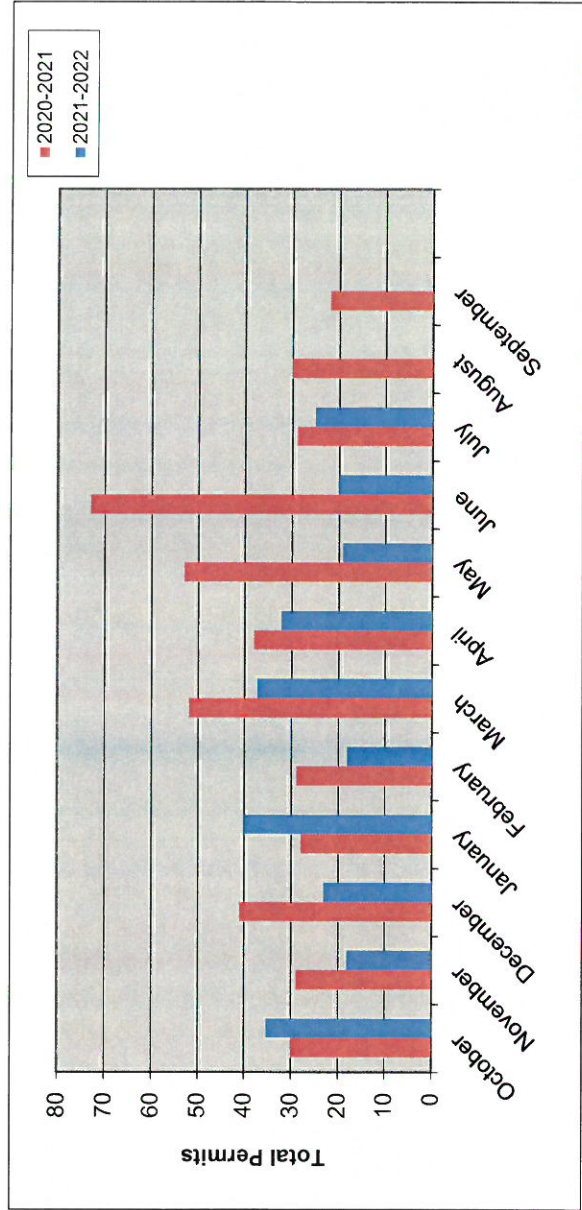
	Year	
	2021	2022
January	28	40
February	29	18
March	52	37
April	38	32
May	53	19
June	73	20
July	29	25
August	30	
September	22	
October	35	
November	18	
December	23	
<b>Totals</b>	<b>430</b>	<b>191</b>



## New Residential Permits

### Fiscal Year

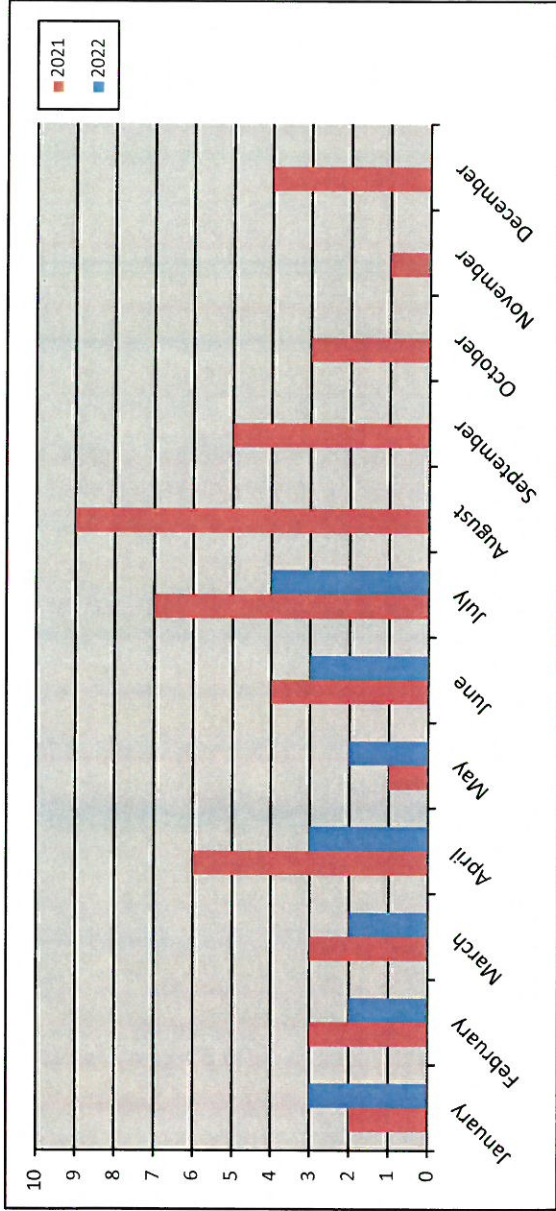
	Year	
	2020-2021	2021-2022
October	30	35
November	29	18
December	41	23
January	28	40
February	29	18
March	52	37
April	38	32
May	53	19
June	73	20
July	29	25
August	30	
September	22	
<b>Totals</b>	<b>454</b>	<b>267</b>



## Residential Remodel Permits

### Calendar Year

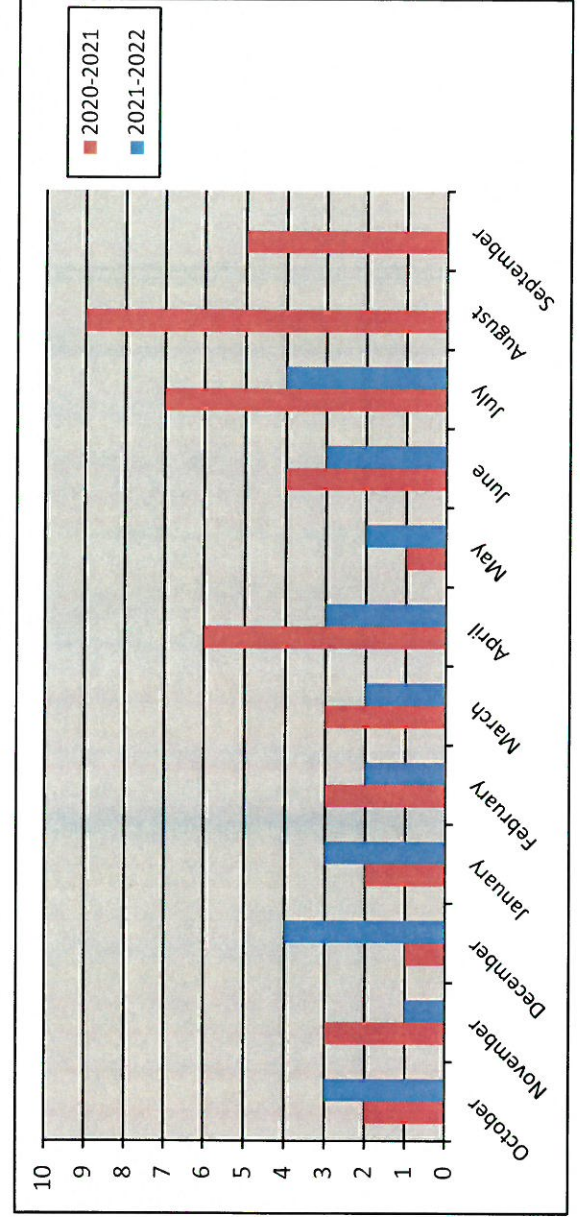
	Year	
	2021	2022
January	2	3
February	3	2
March	3	2
April	6	3
May	1	2
June	4	3
July	7	4
August	9	
September	5	
October	3	
November	1	
December	4	
<b>Totals</b>	<b>48</b>	<b>19</b>



## Residential Remodel Permits

### Fiscal Year

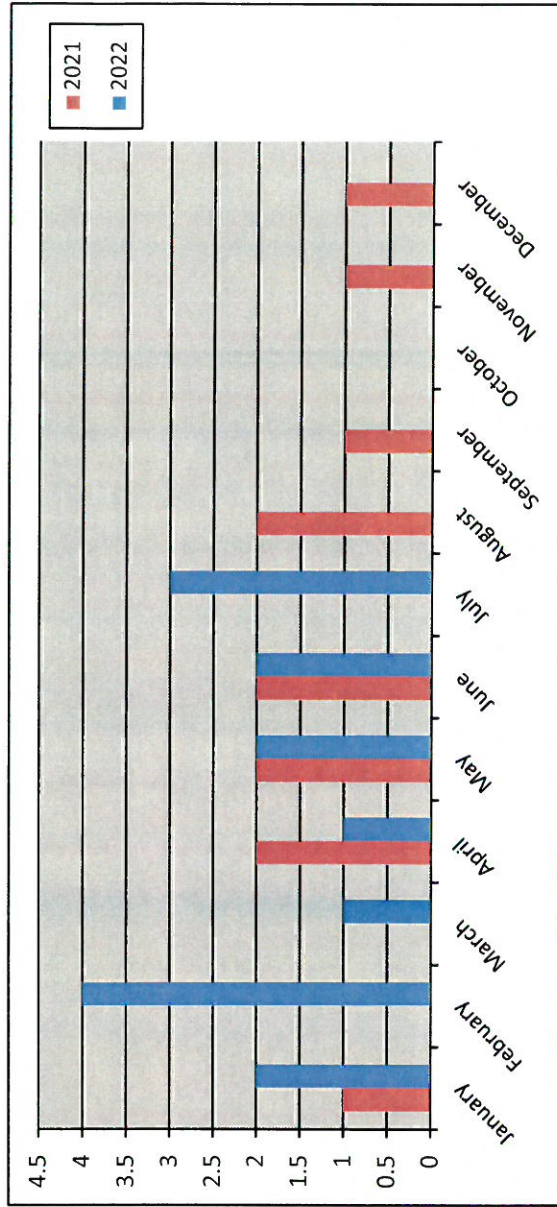
	Year	
	2020-2021	2021-2022
October	2	3
November	3	1
December	1	4
January	2	3
February	3	2
March	3	2
April	6	3
May	1	2
June	4	3
July	7	4
August	9	
September	5	
<b>Totals</b>	<b>46</b>	<b>27</b>



## New Commercial Permits

## Calendar Year

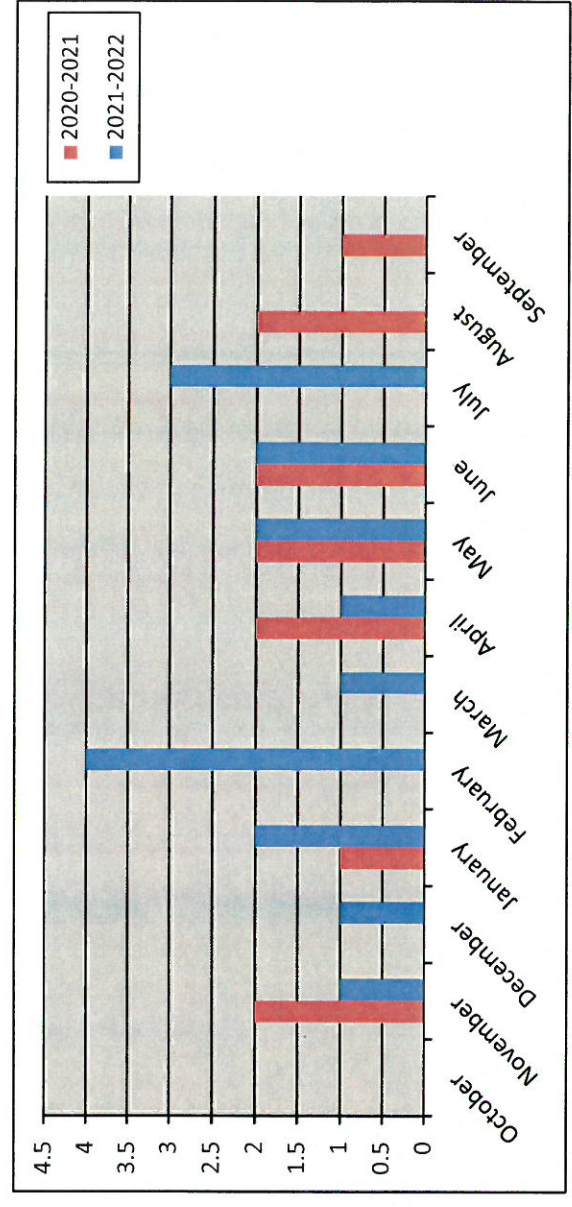
	Year	
	2021	2022
January	1	2
February	0	4
March	0	1
April	2	1
May	2	2
June	2	2
July	0	3
August	2	
September	1	
October	0	
November	1	
December	1	
<b>Totals</b>	<b>12</b>	<b>15</b>



## New Commercial Permits

## Fiscal Year

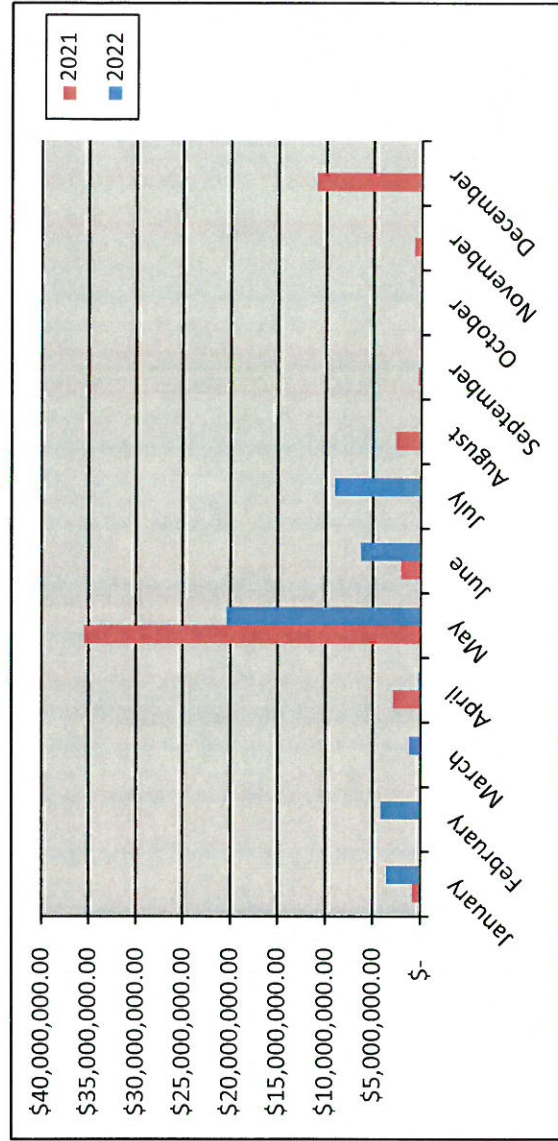
	Year	
	2020-2021	2021-2022
October	0	0
November	2	1
December	0	1
January	1	2
February	0	4
March	0	1
April	2	1
May	2	2
June	2	2
July	0	3
August	2	
September	1	
<b>Totals</b>	<b>12</b>	<b>17</b>



**New Commercial Value**

**Calendar Year**

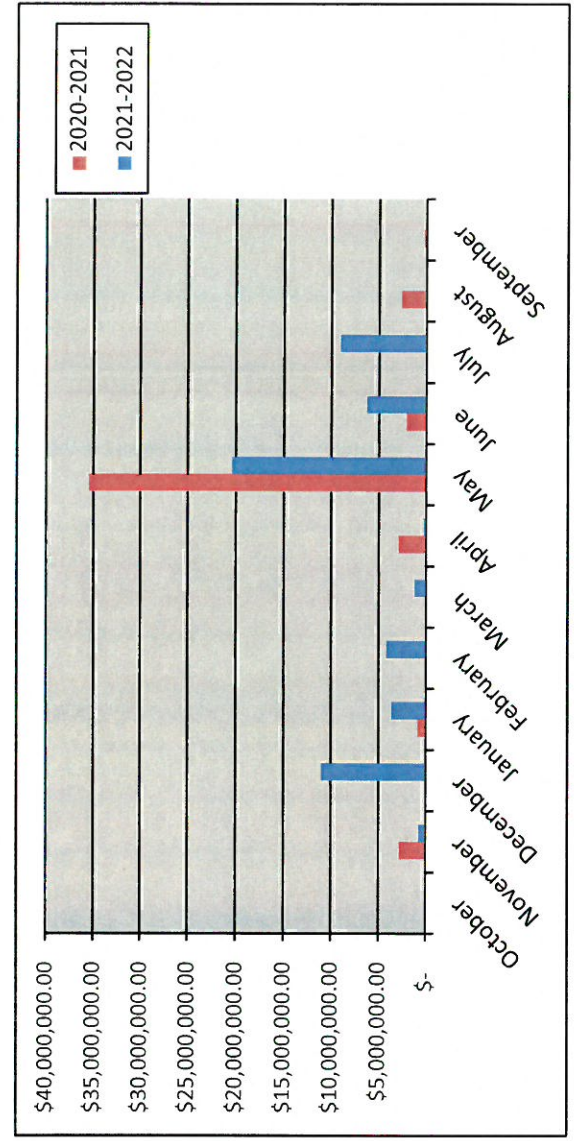
	Year	
	2021	2022
January	\$ 885,000.00	\$ 3,625,000.00
February	\$ -	\$ 4,186,300.00
March	\$ -	\$ 1,200,000.00
April	\$ 2,900,000.00	\$ 250,000.00
May	\$ 35,500,000.00	\$ 20,400,000.00
June	\$ 2,080,000.00	\$ 6,300,000.00
July	\$ -	\$ 9,075,000.00
August	\$ 2,650,000.00	
September	\$ 286,200.00	
October	\$ -	
November	\$ 750,000.00	
December	\$ 11,000,000.00	
<b>Totals</b>	<b>\$ 56,051,200.00</b>	<b>\$ 45,036,300.00</b>



**New Commercial Value**

**Fiscal Year**

	Year	
	2020-2021	2021-2022
October	\$ -	\$ -
November	\$ 2,800,000.00	\$ 750,000.00
December	\$ -	\$ 11,000,000.00
January	\$ 885,000.00	\$ 3,625,000.00
February	\$ -	\$ 4,186,300.00
March	\$ -	\$ 1,200,000.00
April	\$ 2,900,000.00	\$ 250,000.00
May	\$ 35,500,000.00	\$ 20,400,000.00
June	\$ 2,080,000.00	\$ 6,300,000.00
July	\$ -	\$ 9,075,000.00
August	\$ 2,650,000.00	
September	\$ 286,200.00	
<b>Totals</b>	<b>\$ 47,101,200.00</b>	<b>\$ 56,786,300.00</b>

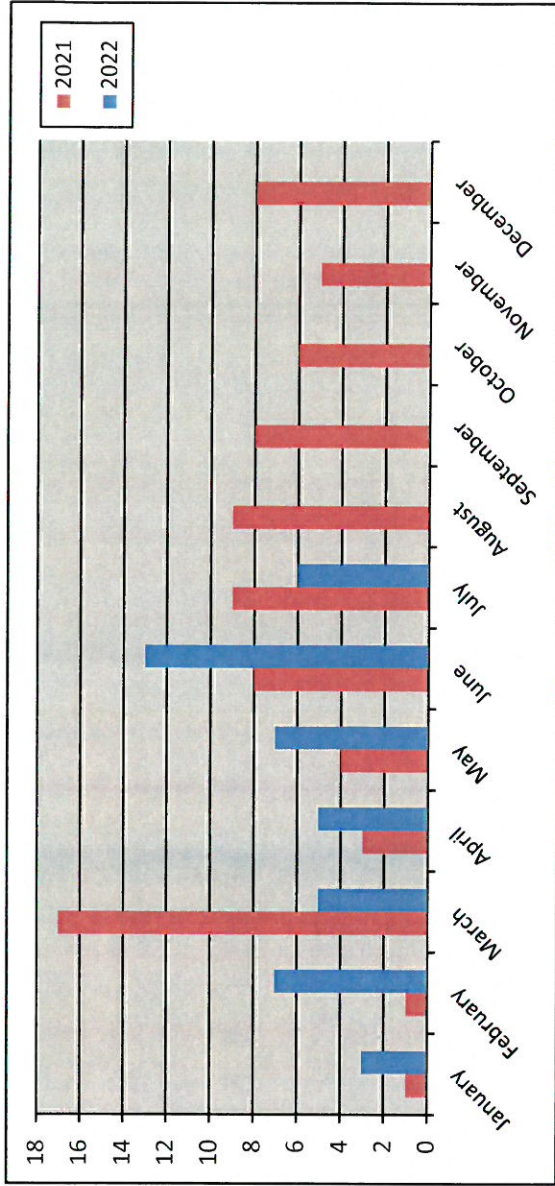




## Commercial Remodel Permits

### Calendar Year

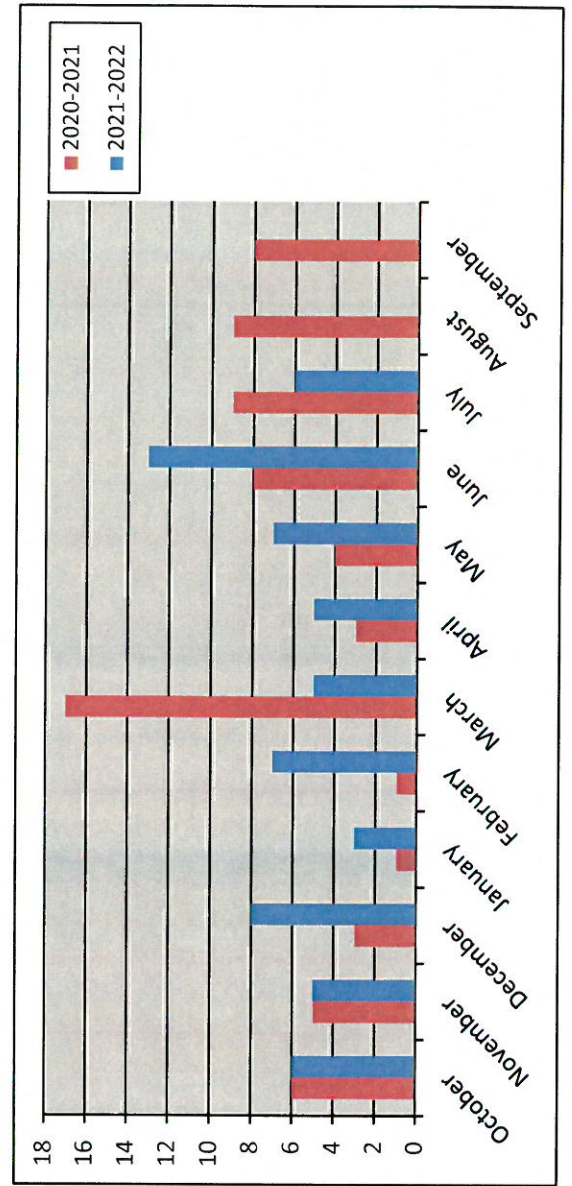
	Year	
	2021	2022
January	1	3
February	1	7
March	17	5
April	3	5
May	4	7
June	8	13
July	9	6
August	9	
September	8	
October	6	
November	5	
December	8	
<b>Totals</b>	<b>79</b>	<b>46</b>



## Commercial Remodel Permits

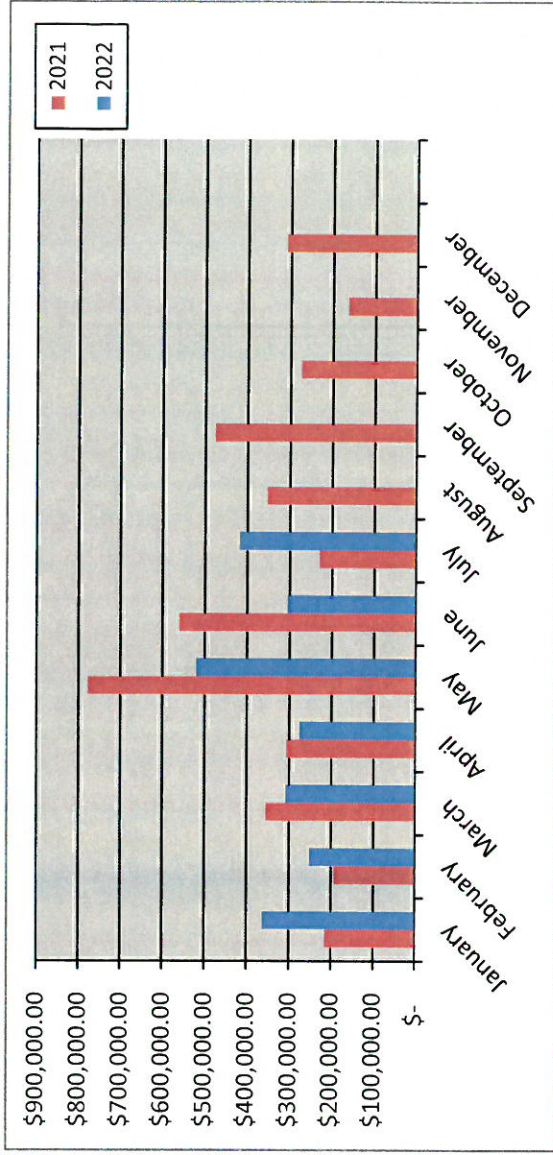
### Fiscal Year

	Year	
	2020-2021	2021-2022
October	6	6
November	5	5
December	3	8
January	1	3
February	1	7
March	17	5
April	3	5
May	4	7
June	8	13
July	9	6
August	9	
September	8	
<b>Totals</b>	<b>74</b>	<b>65</b>



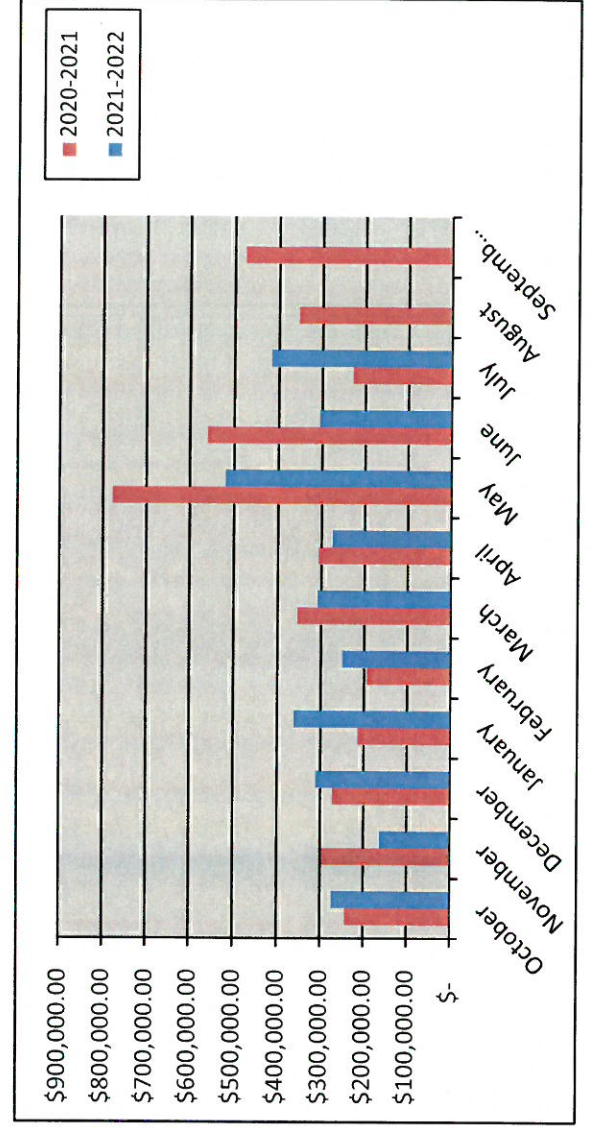
**Total Fees Collected      Calendar Year**

	Year	
	2021	2022
January	\$ 214,263.11	\$ 361,270.18
February	\$ 193,245.03	\$ 250,094.89
March	\$ 354,901.19	\$ 307,866.69
April	\$ 306,654.35	\$ 274,768.54
May	\$ 778,422.17	\$ 518,725.96
June	\$ 561,245.38	\$ 304,895.03
July	\$ 228,777.52	\$ 416,616.46
August	\$ 353,601.69	
September	\$ 476,935.40	
October	\$ 273,670.22	
November	\$ 163,206.06	
December	\$ 310,002.73	
<b>Totals</b>	<b>\$ 4,214,924.85</b>	<b>\$ 2,434,237.75</b>



**Total Fees Collected      Fiscal Year**

	Year	
	2020-2021	2021-2022
October	\$ 242,859.42	\$ 273,670.22
November	\$ 296,217.55	\$ 163,206.06
December	\$ 272,486.48	\$ 310,002.73
January	\$ 214,263.11	\$ 361,270.18
February	\$ 193,245.03	\$ 250,094.89
March	\$ 354,901.19	\$ 307,866.69
April	\$ 306,654.35	\$ 274,768.54
May	\$ 778,422.17	\$ 518,725.96
June	\$ 561,245.38	\$ 304,895.03
July	\$ 228,777.52	\$ 416,616.46
August	\$ 353,601.69	
September	\$ 476,935.40	
<b>Totals</b>	<b>\$ 4,279,609.29</b>	<b>\$ 3,181,116.76</b>



9:49:38AM

## PERMITS ISSUED

For the Period 7/1/2022 to 7/31/2022

Permit Number	Permit Type	Site Address	Total Fees	
Application Date	Subtype	Parcel Number	Total SQFT	Fees Paid
Issue Date	Status of Permit	Subdivision Name		
		Plan Number	Valuation	
COM2022-2667	Commercial Building Permit			
05/09/2022	Certificate of Occupancy	2707 MARKET CENTER	\$75.00	\$75.00
07/25/2022	ISSUED	DR, ROCKWALL, 75032	9,531.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	Dollar General Corp 205-404-1035	100 Mission Ridge	Goodlettsville	TN	37072
Property Owner	ROCKWALL DUNHILL LLC	3100 MONTICELLO AVE, S.300	Dallas	TX	75205

Inspection Report ( Bill Slater

Contact Joseph Gechijian

## Contractors

COM2022-2795	Commercial Building Permit			
05/12/2022	Certificate of Occupancy	1910 ALPHA DR, SUITE	\$76.50	\$76.50
07/20/2022	ISSUED	100, ROCKWALL, 75087	120,000.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	Heritage Landscape Supply 660-307-0746	1910 Alpha Dr	Rockwall	TX	75087
Property Owner	ROCKWALL URBAN INDUSTRIAL LP	13150 COIT RDM STE 205	Dallas	TX	75240

Inspection Report ( Bret Maloney

## Contractors

COM2022-2969	Commercial Building Permit			
05/18/2022	Certificate of Occupancy	3045 N GOLIAD ST #106,	\$76.50	\$76.50
07/19/2022	ISSUED	ROCKWALL TX 75087	960.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	Phoenix Nutrition 945-217-9488	3045 N Goliad	Rockwall	TX	75087
Property Owner	Abdul Khan	1002 Creekwod Dr	Garland	TX	75044

## Contractors

9:49:38AM

## PERMITS ISSUED

For the Period 7/1/2022 to 7/31/2022

Permit Number	Permit Type	Site Address				
Application Date	Subtype	Parcel Number			Total Fees	
Issue Date	Status of Permit	Subdivision Name			Total SQFT	Fees Paid
		Plan Number	Valuation			
COM2022-3285	Commercial Building Permit					
06/01/2022	Certificate of Occupancy	177-179-181 COUNTY			\$76.50	\$76.50
07/08/2022	ISSUED	LINE RD, ROCKWALL, 75032			3,750.00	
<b>Contact Type</b>	<b>Contact Name</b>	<b>Contact Address</b>				
	<b>Business Phone</b>					
Business Owner	Quaint Kempf 972-804-6031	181 County Line Rd	Rockwall	TX	75032	
Property Owner	Rex Kelly	339 County Line Rd.	Rockwall	TX	75032	
<b>Contractors</b>						
COM2022-3441	Commercial Building Permit					
06/07/2022	Certificate of Occupancy	1905 ALPHA DR, SUITE			\$76.50	\$76.50
07/13/2022	ISSUED	150, ROCKWALL, 75087			4,806.00	
<b>Contact Type</b>	<b>Contact Name</b>	<b>Contact Address</b>				
	<b>Business Phone</b>					
Business Owner	Larry & Sharon Huppert and Doreen O'Brien 972-804-0356	1905 Alpha Drive, Suite 160	Rockwall	TX	75087	
Property Owner	ROCKWALL URBAN INDUSTRIAL LP	13150 COIT RDM STE 205	Dallas	TX	75240	
Contact	Sharon Huppert					
<b>Contractors</b>						
COM2022-3534	Commercial Building Permit					
06/10/2022	Certificate of Occupancy	408 S GOLIAD ST			\$76.50	\$76.50
07/27/2022	ISSUED				3,951.00	
<b>Contact Type</b>	<b>Contact Name</b>	<b>Contact Address</b>				
	<b>Business Phone</b>					
Business Owner	Rockwall Rotary Foundation 214-715-7790	408 S. Goliad St	Rockwall	TX	75087	
Property Owner	Rockwall Rotary Foundation	PO Box 446	Rockwall	TX	75087	
<b>Contractors</b>						
COM2022-3710	Commercial Building Permit					
06/16/2022	Certificate of Occupancy	2823 MARKET CENTER	\$718,400.00		\$75.00	\$75.00
07/13/2022	ISSUED	DR			3,600.00	

PERMITS ISSUED

For the Period 7/1/2022 to 7/31/2022

Permit Number	Permit Type	Site Address			
Application Date	Subtype	Parcel Number		Total Fees	
Issue Date	Status of Permit	Subdivision Name		Total SQFT	Fees Paid
Plan Number			Valuation		
Contact Type	Contact Name	Contact Address			
	Business Phone				
Applicant	Donnie Lotz	8400 Belleview Dr., Suite 140	Plano	TX	75024
Property Owner	Clear Choice Imaging of Rockwall	2823 Market Center	Rockwall	TX	75032
Inspection Report C	Devin Jones	8400 Belleview Drive, Suite 140	Plano	TX	75024
<b>Contractors</b>					

Contact Type	Contact Name	Contact Address			
	Business Phone				
Applicant	Donnie Lotz	8400 Belleview Dr., Suite 140	Plano	TX	75024
Property Owner	Clear Choice Imaging of Rockwall	2823 Market Center	Rockwall	TX	75032
Inspection Report C	Devin Jones	8400 Belleview Drive, Suite 140	Plano	TX	75024
<b>Contractors</b>					

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COM2022-3721	Commercial Building Permit				
06/16/2022	Certificate of Occupancy	231 RANCH TRL		\$76.50	\$76.50
07/12/2022	ISSUED			4,800.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	Justin Webb 214-502-1021	5763 TX 205	Rockwall	TX	75032
Property Owner	Justin Webb	5763 TX 205	Rockwall	TX	75032
<b>Contractors</b>					

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COM2022-3925	Commercial Building Permit				
06/24/2022	Temporary Certificate of Occupancy	2600 LAKEFRONT TRL		\$306.00	\$306.00
07/06/2022	PENDREVIEW			369,013.00	

PERMITS ISSUED

For the Period 7/1/2022 to 7/31/2022

Permit Number	Permit Type	Site Address	Valuation	Total Fees	Fees Paid
Application Date	Subtype	Parcel Number			
Issue Date	Status of Permit	Subdivision Name		Total SQFT	
Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	PegasusAblon 214-389-6900	8222 Douglas Ave	Dallas	TX 75225	
Property Owner	James Ziegler	8222 Douglas Ave	Dallas	TX 75225	
Inspection Report C	Cal Smith	3710 Rawlins St, S. 1510	Dallas	TX 75219	

Contractors

COM2022-4006	Commercial Building Permit				
06/28/2022	Certificate of Occupancy	1200 E WASHINGTON	\$76.50	\$76.50	
07/27/2022	ISSUED	ST, 400, ROCKWALL, TX, 75087		120,506.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	SPR Packaging 469-314-1600	1200 E Washington St	Rockwall	TX 75087	
Property Owner	AlvaPlast US Development	1480 Justin Rd	Rockwall	TX 75087	

Contractors

COM2022-4278	Commercial Building Permit				
07/08/2022	Certificate of Occupancy	2135 RIDGE RD, 103,	\$76.50	\$76.50	
07/08/2022	ISSUED	ROCKWALL, TX, 75087		1,490.00	

Contact Type	Contact Name	Contact Address			
	Business Phone				
Business Owner	Waleed Zafar 469-769-1390	2135 Ridge Rd, Suite 103	Rockwall	TX 75087	
Property Owner	MFR PROPERTIES LLC AND YELLOW JACKET PLAZA LLC	28632 ROADSIDE DR, S. 270	Agoura Hills	CA 91301	

Contractors

COM2022-4288	Commercial Building Permit				
07/08/2022	Certificate of Occupancy	718 E INTERSTATE 30	\$76.50	\$76.50	
07/18/2022	ISSUED			1,300.00	

PERMITS ISSUED

For the Period 7/1/2022 to 7/31/2022

Permit Number Application Date Issue Date	Permit Type Subtype Status of Permit	Site Address Parcel Number Subdivision Name Plan Number	Valuation	Total Fees Total SQFT	Fees Paid
Contact Type	Contact Name Business Phone	Contact Address			
Business Owner	Kim Combs 972-722-5840	718 E Interstate 30	Rockwall	TX 75087	
Property Owner	HP Rockwall	7557 Rambler Rd	Dallas	TX 75231	

Contractors

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COM2022-4621	Commercial Building Permit				
07/26/2022	Temporary Certificate of Occupancy	3068 N GOLIAD ST		\$306.00	\$306.00
07/28/2022	ISSUED			13,510.00	

Contact Type	Contact Name Business Phone	Contact Address			
Business Owner	Arshad Nizam 214-585-8356	3068 N Goliad St	Rockwall	TX 75087	
Property Owner	Arshad Nizam	401 Central Parkway	Allen	TX 75013	
Applicant	Will Delaney	2560 Technology Dr. Ste 100	Plano	TX 75074	

Contractors

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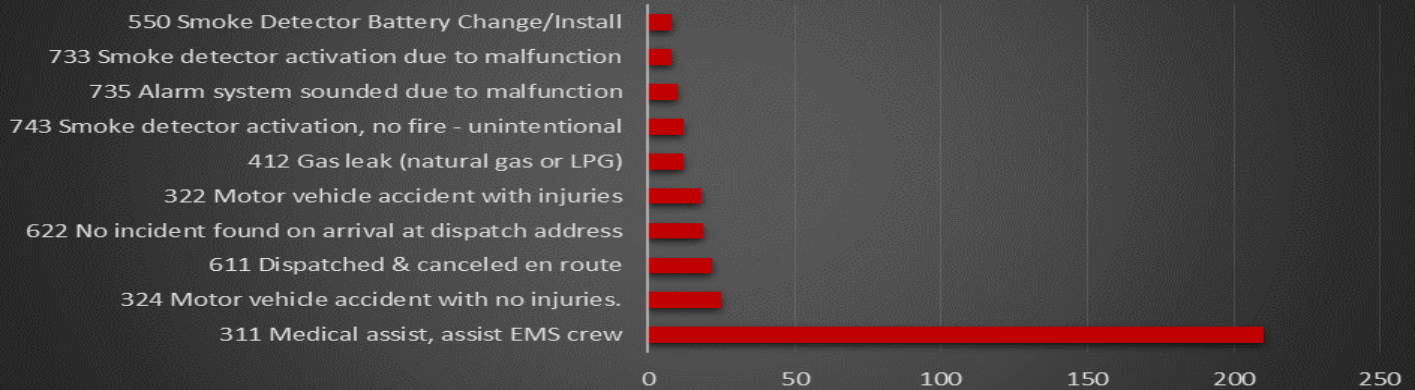
Total Valuation: \$1,436,800.00  
 Total Fees: \$1,525.50  
 Total Fees Paid: \$1,525.50



July 2022 Monthly  
Report



## Top 10 NFIRS Call Types



## All Calls By NFIRS Call Type

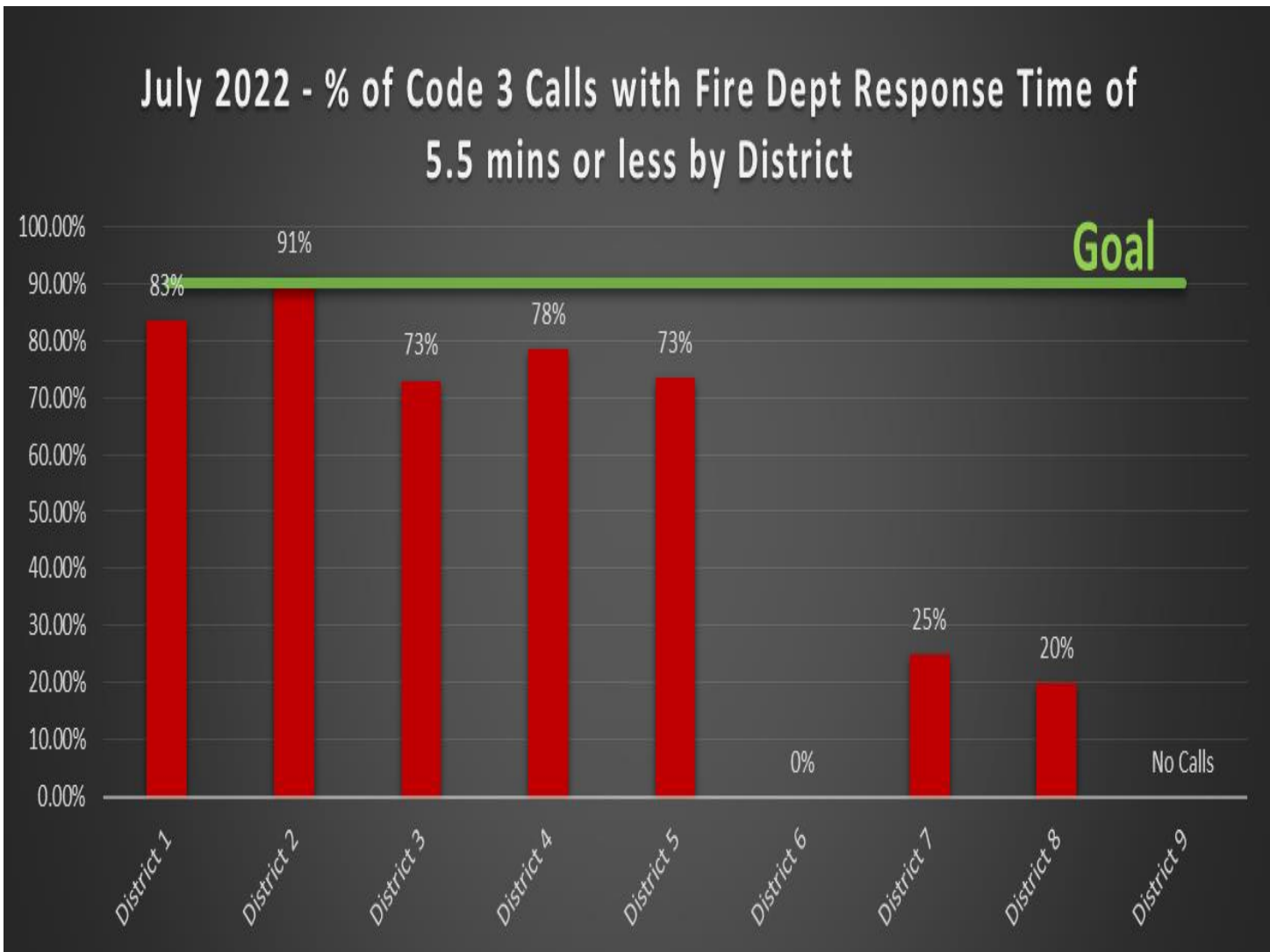


## Incident Count

100 Fire, other	1
111 Building fire	2
131 Passenger vehicle fire (cars, pickups, SUV's)	1
134 Water vehicle fire	1
140 OTHER Natural vegetation fire	1
143 Grass fire	4
150 OTHER Outside rubbish fire	1
154 Dumpster or other outside trash receptacle fire	2
251 Excessive heat, scorch burns with no ignition	1
311 Medical assist, assist EMS crew	210
322 Motor vehicle accident with injuries	18
323 Motor vehicle/pedestrian accident (MV Ped)	1
324 Motor vehicle accident with no injuries.	25
342 Search for person in water	1
352 Extrication of victim(s) from vehicle	1
365 Watercraft rescue	2
412 Gas leak (natural gas or LPG)	12
424 Carbon monoxide incident	1
440 Electrical wiring/equipment problem, other	1
441 Heat from short circuit (wiring), defective/worn	1
442 Overheated motor	1
444 Power line down	2
445 Arcing, shorted electrical equipment	3
520 Water problem, other	1
522 Water or steam leak	1
550 Smoke Detector Battery Change/Install	8
553 Public service	1
611 Dispatched & canceled en route	22
622 No incident found on arrival at dispatch address	19
631 Authorized controlled burning	1
651 Smoke scare, odor of smoke	5
700 False alarm or false call, other	1
714 Central station, malicious false alarm	1
715 Local alarm system, malicious false alarm	1
730 System malfunction, other	3
731 Sprinkler activation due to malfunction	1
733 Smoke detector activation due to malfunction	8
735 Alarm system sounded due to malfunction	10
736 CO detector activation due to malfunction	4
741 Sprinkler activation, no fire - unintentional	2
743 Smoke detector activation, no fire - unintentional	12
745 Alarm system activation, no fire - unintentional	7
<b>Grand Total</b>	<b>401</b>

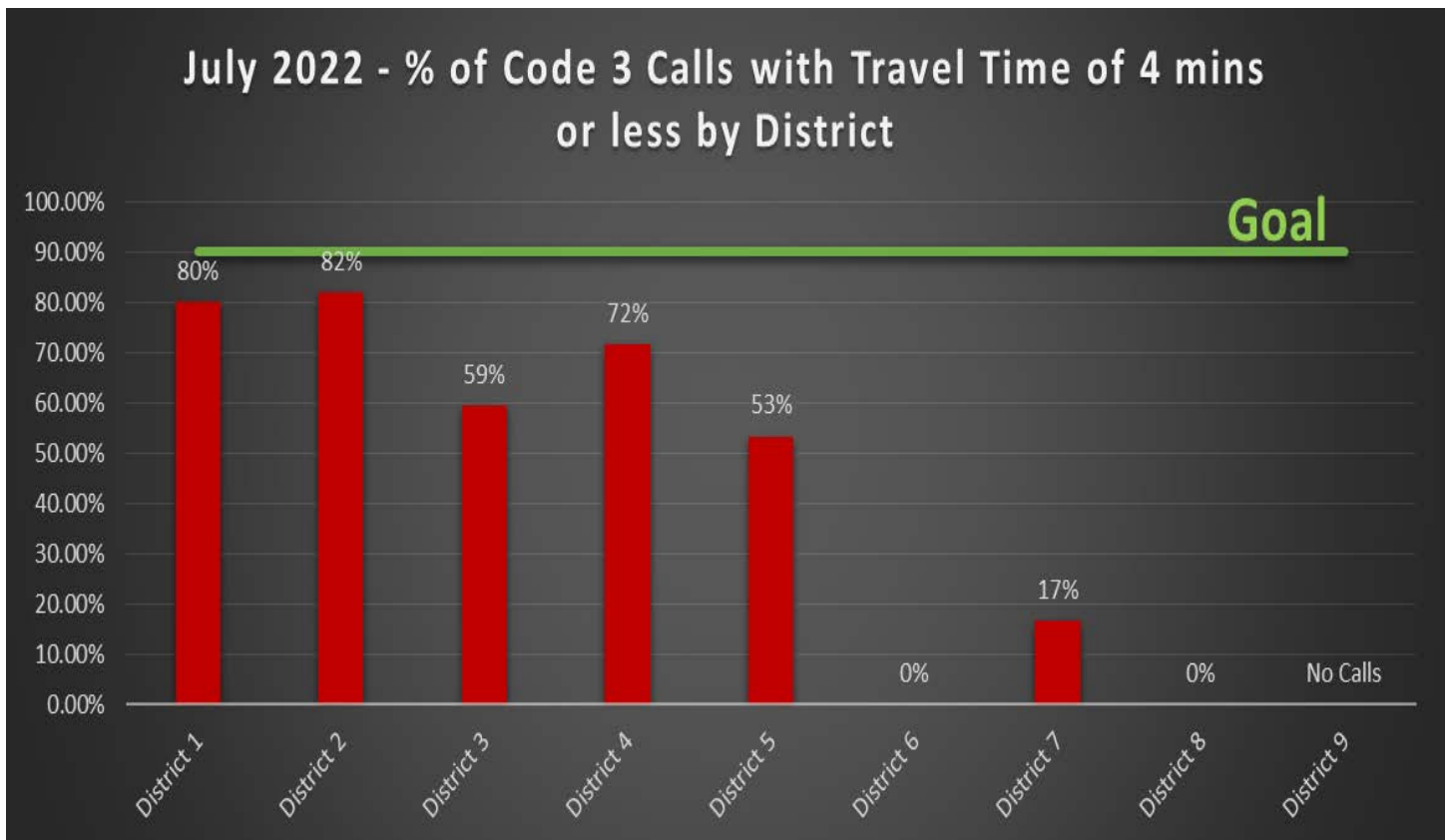
## July 2022 Dispatch to Arrival Analysis

District	Total Number of Calls	Percent of Runs per District	Number of Calls in 5.5 mins or Less	Average FD Response Time Minutes	% in 5.5 min or less	Goal of 90%
District 1	96	30%	80	0:04:07	83%	90%
District 2	89	28%	81	0:04:00	91%	90%
District 3	37	12%	27	0:04:48	73%	90%
District 4	60	19%	47	0:04:41	78%	90%
District 5	15	5%	11	0:05:05	73%	90%
District 6	3	1%	0	0:06:44	0%	90%
District 7	12	4%	3	0:06:46	25%	90%
District 8	5	2%	1	0:06:44	20%	90%
District 9	0	0%	0	0:00:00	No Calls	90%
<b>Department</b>	<b>317</b>	<b>100%</b>	<b>250</b>	<b>0:04:29</b>	<b>79%</b>	<b>90%</b>



## July 2022 Travel Times by District

District	Total Number of Calls	Percent of Runs per District	Number of Calls in 4 or Less	Average Travel Time Minutes	% in 4 min or less	Goal of 90%
District 1	96	30%	77	0:03:08	80%	90%
District 2	89	28%	73	0:03:01	82%	90%
District 3	37	12%	22	0:03:48	59%	90%
District 4	60	19%	43	0:03:42	72%	90%
District 5	15	5%	8	0:04:12	53%	90%
District 6	3	1%	0	0:05:35	0%	90%
District 7	12	4%	2	0:05:32	17%	90%
District 8	5	2%	0	0:05:46	0%	90%
District 9	0	0%	0	0:00:00	No Calls	90%
Department	317	100%	225	0:03:29	71%	90%





# Total Dollar Losses

July 2022



City of Rockwall  
*The New Horizon*

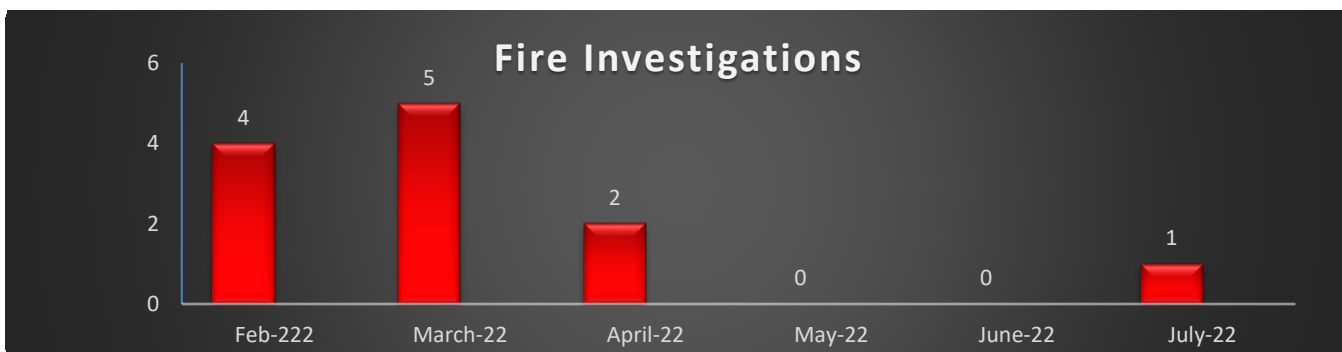
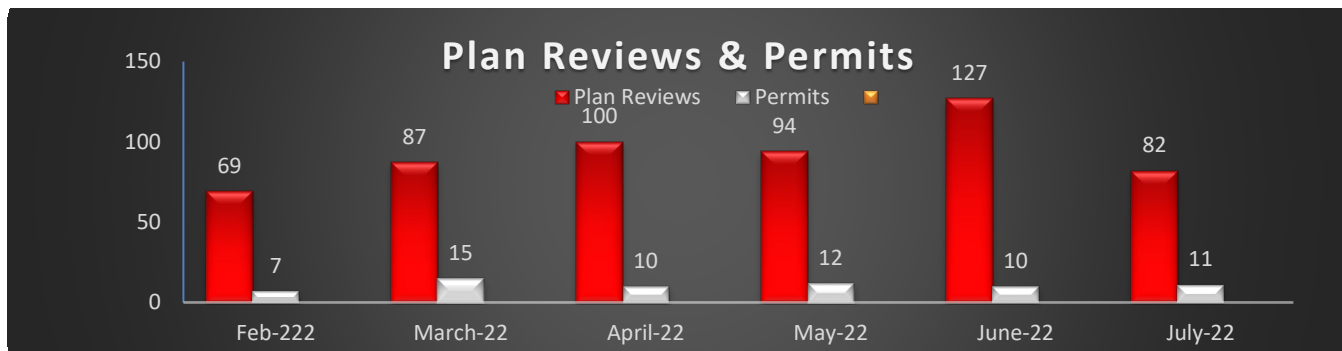
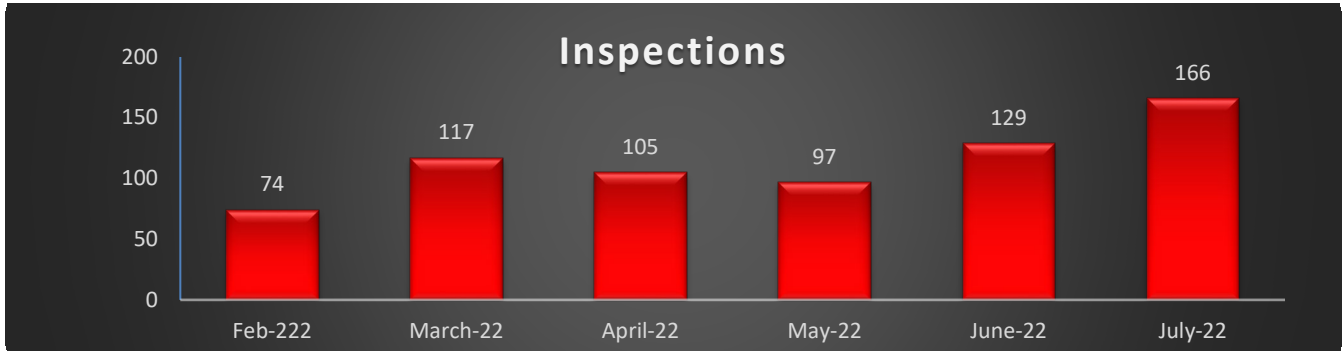
Rockwall Fire Department

Print Date/Time: 08/08/2022 09:54  
Login ID: rck\ldgang  
Layer: All  
Areas: All

ORI Number: TX504  
Incident Type: All  
Station: All

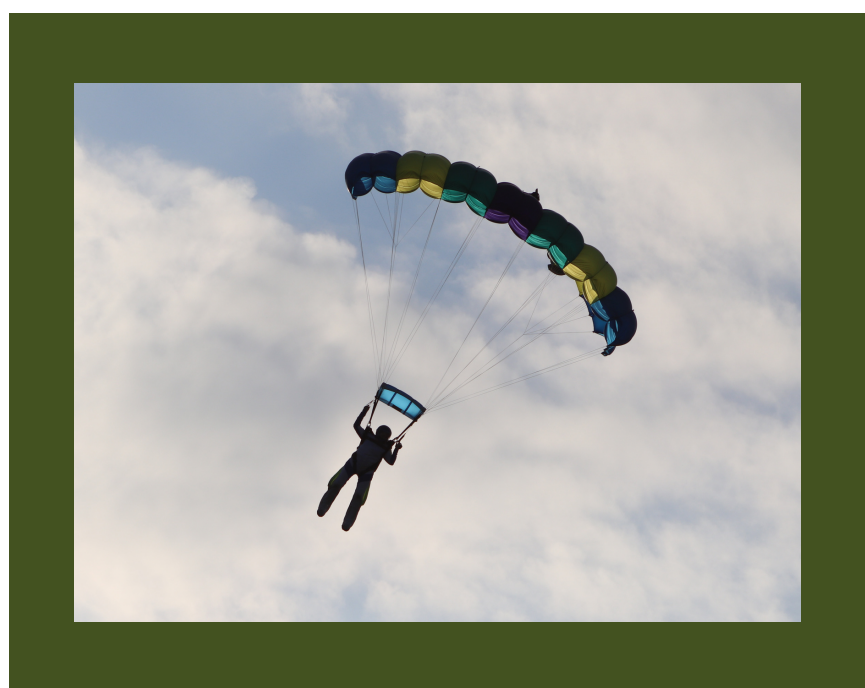
	Current Month	Last Month	Same Month Last Year	Year To Date	Last Year To Date
<b>Total Property Loss:</b>	\$100,000.00	\$4,000.00	\$23,000.00	\$961,720.00	\$237,350.00
<b>Total Content Loss:</b>	\$25,000.00	\$0.00	\$5,000.00	\$870,000.00	\$84,600.00
<b>Total Property Pre-Incident Value:</b>	\$429,450.00	\$0.00	\$3,000.00	\$60,914,860.00	\$27,606,129.00
<b>Total Contents Pre-Incident Value</b>	\$50,000.00	\$0.00	\$0.00	\$21,790,000.00	\$11,107,699.60
<b>Total Losses:</b>	\$125,000.00	\$4,000.00	\$28,000.00	\$1,831,720.00	\$125,000.00
<b>Total Value:</b>	\$479,450.00	\$0.00	\$3,000.00	\$82,704,860.00	\$38,713,828.60

# Fire Prevention, Education, & Investigations Division Monthly Report July 2022





# Monthly Report July 2022



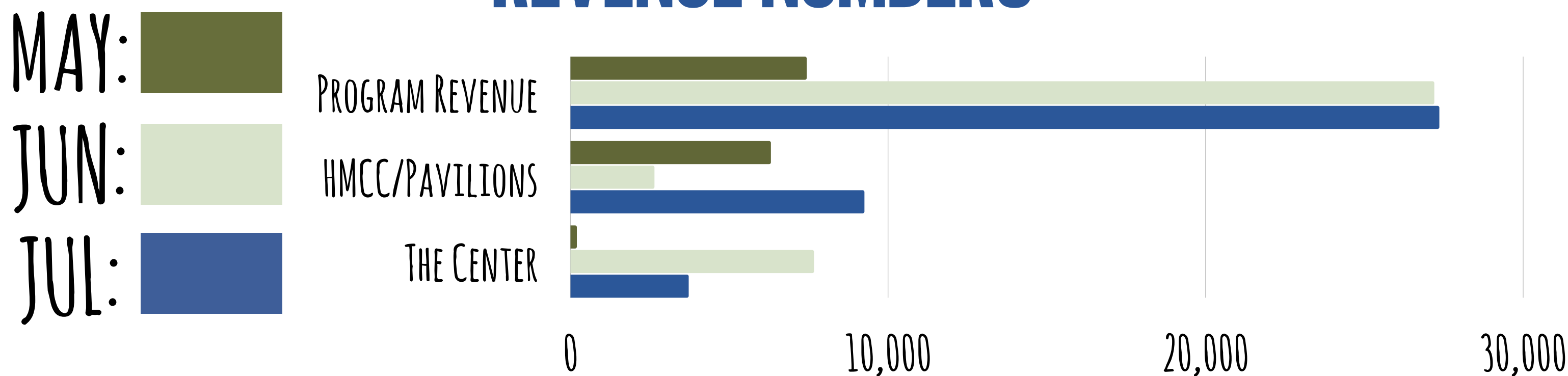
JULY 4TH PARADE  
AND FIREWORKS  
5000 ATTENDEES



FINAL CONCERT BY THE LAKE  
OF THE SEASON  
2500 PARTICIPANTS



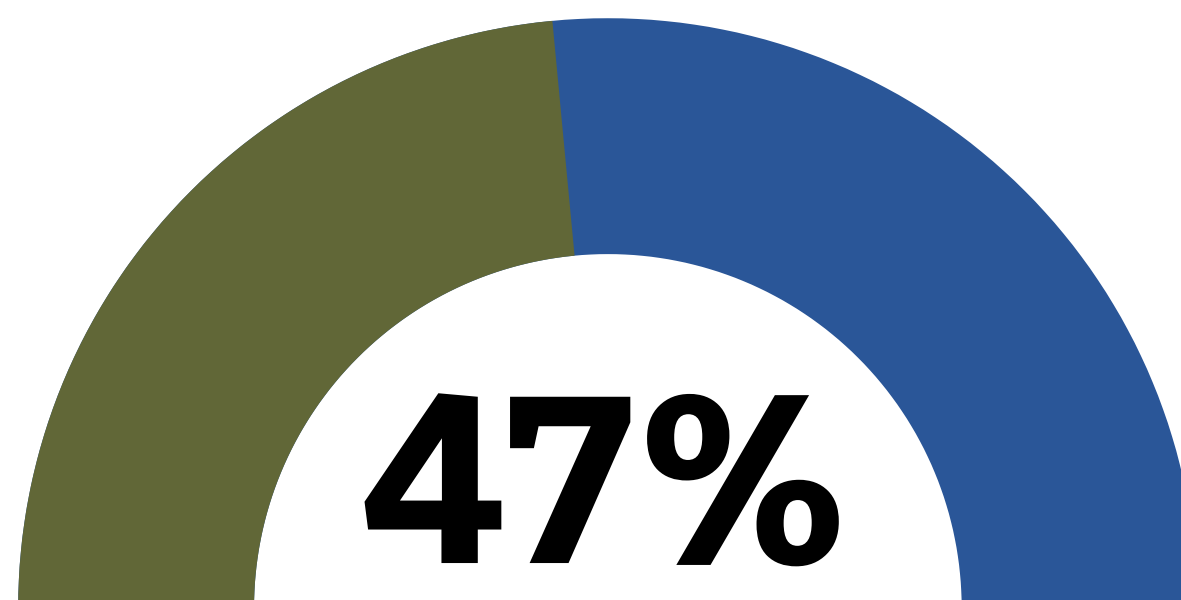
## REVENUE NUMBERS



## Upcoming:

- Mother Son Dance
- Fall RBSL
- Senior Health Fair
- Rib Rub, Run and Roll

% of Resident Accounts  
as of July 2022



# PARKS PROJECT UPDATE – JUNE 2022



SAN JACINTO PLAZA BIKE RACK  
INSTALL



EMERALD BAY DREDGING



HARBOR PARKING LOT PAINTING



SPLASH PAD OPERATION BUTTON  
CONVERSION KITS

## Other Projects

LOFLAND PARK MEMORIAL BENCH INSTALL

NEW PARK BUILDING PLANT AND  
EQUIPMENT STORAGE AREA

# Rockwall Police Department

## Monthly Activity Report

July-2022

ACTIVITY	CURRENT MONTH <b>JULY</b>	PREVIOUS MONTH <b>JUNE</b>	YTD <b>2022</b>	YTD <b>2021</b>	YTD % <b>CHANGE</b>
----------	------------------------------	-------------------------------	--------------------	--------------------	------------------------

### PART 1 OFFENSES

Homicide / Manslaughter	0	0	0	0	<b>0.00%</b>
Sexual Assault	3	1	10	12	<b>-16.67%</b>
Robbery	0	1	7	3	<b>133.33%</b>
Aggravated Assault	2	1	18	20	<b>-10.00%</b>
Burglary	3	6	23	21	<b>9.52%</b>
Larceny	58	67	411	377	<b>9.02%</b>
Motor Vehicle Theft	5	9	31	33	<b>-6.06%</b>
<b>TOTAL PART I</b>	<b>71</b>	<b>85</b>	<b>500</b>	<b>466</b>	<b>7.30%</b>
<b>TOTAL PART II</b>	<b>112</b>	<b>163</b>	<b>913</b>	<b>851</b>	<b>7.29%</b>
<b>TOTAL OFFENSES</b>	<b>183</b>	<b>248</b>	<b>1413</b>	<b>1317</b>	<b>7.29%</b>

### ADDITIONAL STATISTICS

FAMILY VIOLENCE	6	6	54	76	<b>-28.95%</b>
D.W.I.	17	17	110	130	<b>-15.38%</b>

### ARRESTS

FELONY	20	27	173	162	<b>6.79%</b>
MISDEMEANOR	55	57	389	332	<b>17.17%</b>
WARRANT ARREST	8	10	50	53	<b>-5.66%</b>
JUVENILE	2	6	55	16	<b>243.75%</b>
<b>TOTAL ARRESTS</b>	<b>85</b>	<b>100</b>	<b>667</b>	<b>563</b>	<b>18.47%</b>

### DISPATCH

CALLS FOR SERVICE	2144	2109	13882	14500	<b>-4.26%</b>
-------------------	------	------	-------	-------	---------------

### ACCIDENTS

INJURY	4	2	28	30	<b>-6.67%</b>
NON-INJURY	83	69	513	485	<b>5.77%</b>
FATALITY	1	0	2	0	<b>200.00%</b>
<b>TOTAL</b>	<b>88</b>	<b>71</b>	<b>543</b>	<b>515</b>	<b>5.44%</b>

### FALSE ALARMS

RESIDENT ALARMS	49	47	318	293	<b>8.53%</b>
BUSINESS ALARMS	155	168	1079	980	<b>10.10%</b>
<b>TOTAL FALSE ALARMS</b>	<b>204</b>	<b>215</b>	<b>1397</b>	<b>1273</b>	<b>9.74%</b>
Estimated Lost Hours	<b>134.64</b>	<b>141.9</b>	<b>922.02</b>	<b>840.18</b>	<b>9.74%</b>
Estimated Cost	<b>\$3,202.80</b>	<b>\$3,375.50</b>	<b>\$21,932.90</b>	<b>\$19,986.10</b>	<b>9.74%</b>

### ROCKWALL NARCOTICS UNIT

Number of Cases	1
Arrests	0
Arrest Warrants	0
Search Warrants	0
<b>Seized</b>	
Dangerous drugs/Fentanyl (pills)	500



# Rockwall Police Department

## Dispatch and Response Times

July 2022

### Police Department

	Average Response Time	
<b>Priority 1</b>		Number of Calls <b>186</b>
Call to Dispatch	0:00:41	
Call to Arrival	0:05:37	
% over 7 minutes	23%	
	Average Response Time	
<b>Priority 2</b>		Number of Calls <b>712</b>
Call to Dispatch	0:02:30	
Call to Arrival	0:09:30	
% over 7 minutes	18%	
	Average Response Time	
<b>Priority 3</b>		Number of Calls <b>72</b>
Call to Dispatch	0:02:02	
Call to Arrival	0:08:09	
% over 7 minutes	43%	

#### Average dispatch response time goals are as follows:

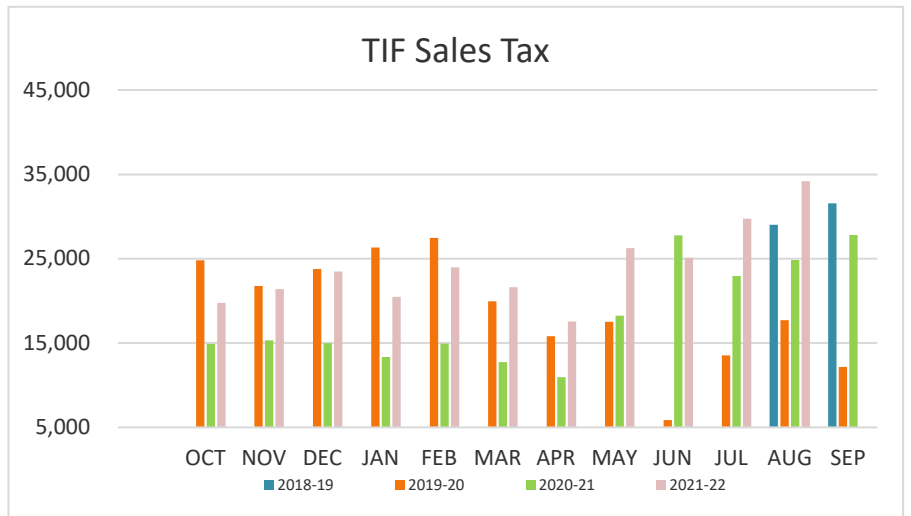
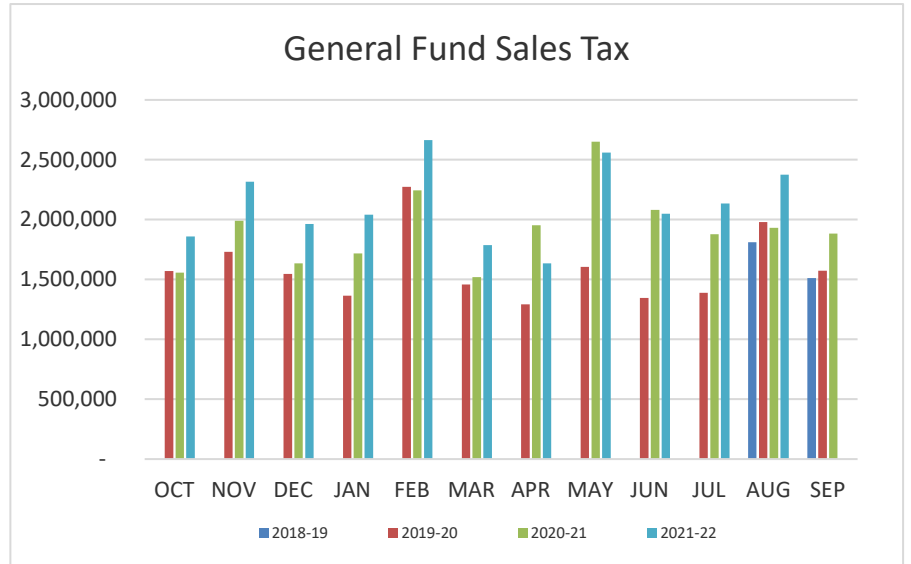
Priority 1: 1 Minute

Priority 2: 1 Minute, 30 Seconds

Priority 3: 3 Minutes

# Sales Tax Collections - Rolling 36 Months

	<u>General Fund</u>	<u>TIF</u>
	<u>Sales Tax</u>	<u>Sales Tax</u>
Aug-19	1,810,970	29,022
Sep-19	1,478,622	31,577
Oct-19	1,565,868	24,818
Nov-19	1,730,541	21,787
Dec-19	1,547,746	23,781
Jan-20	1,365,040	26,330
Feb-20	2,273,520	27,472
Mar-20	1,458,193	19,955
Apr-20	1,292,639	15,829
May-20	1,605,986	17,538
Jun-20	1,345,598	5,881
Jul-20	1,376,026	13,529
Aug-20	1,979,539	17,706
Sep-20	1,573,352	12,179
Oct-20	1,558,570	14,888
Nov-20	1,989,955	15,299
Dec-20	1,634,280	14,994
Jan-21	1,718,364	13,341
Feb-21	2,244,778	14,935
Mar-21	1,521,031	12,738
Apr-21	1,952,165	10,954
May-21	2,651,412	18,252
Jun-21	2,080,645	27,773
Jul-21	1,877,982	22,940
Aug-21	1,930,521	24,860
Sep-21	1,882,276	27,803
Oct-21	1,860,016	19,744
Nov-21	2,317,862	21,385
Dec-21	1,963,345	23,464
Jan-22	2,040,002	20,495
Feb-22	2,664,185	23,976
Mar-22	1,786,902	21,605
Apr-22	1,633,850	17,548
May-22	2,559,349	26,254
Jun-22	2,050,066	25,127
Jul-22	2,135,457	29,738



**Notes:**  
 75% of total sales tax collected is deposited to the General Fund each month  
 Comptroller tracks sales tax generated in the TIF and reports it monthly  
 75% of TIF sales tax (city share) is pledged to the TIF

# Monthly Water Consumption - Rolling 27 Months

	<u>Total Gallons</u>	<u>Daily Average</u>	<u>Maximum Day</u>
Apr-20	226,508,245	7,550,275	10,263,848
May-20	317,650,425	10,246,788	13,193,218
Jun-20	455,022,410	15,167,411	20,100,668
Jul-20	511,667,880	16,505,415	20,073,454
Aug-20	590,693,550	19,054,630	22,031,522
Sep-20	363,112,688	12,103,756	14,870,959
Oct-20	397,801,934	12,832,320	15,751,199
Nov-20	295,091,494	9,836,383	11,452,738
Dec-20	179,571,968	7,371,629	8,653,526
Jan-21	157,800,928	6,718,182	7,179,987
Feb-21	199,821,312	8,288,901	17,044,360
Mar-21	230,130,315	7,423,560	9,739,996
Apr-21	289,545,756	9,651,525	12,683,656
May-21	247,421,005	7,981,324	10,400,411
Jun-21	342,904,230	11,430,141	16,988,604
Jul-21	446,687,809	14,409,284	17,918,524
Aug-21	486,443,590	15,691,730	18,928,160
Sep-21	377,898,464	17,173,544	19,016,086
Oct-21	293,280,384	11,880,576	15,338,545
Nov-21	280,398,508	9,346,618	12,584,820
Dec-21	262,730,021	8,475,163	10,313,293
Jan-22	245,557,172	7,921,199	10,742,941
Feb-22	211,955,941	7,569,855	10,394,759
Mar-22	256,035,618	8,529,214	10,544,988
Apr-22	281,707,217	9,390,241	11,718,730
May-22	356,050,664	11,485,506	15,634,756
Jun-22	496,374,560	16,545,820	21,414,344

Source: SCADA Monthly Reports generated at the Water Pump Stations

